



Your Inspection Report

10717 Honeysuckle Way
Plain City, OH 43064

PREPARED FOR:

TEJAS PATEL

INSPECTION DATE:

Monday, November 4, 2019

PREPARED BY:

James Jones Licensed



Home Inspections LLC.
PO Box 1954
Dublin, OH 43017

1-800-241-0133

www.hi-homeinspections.com
jamesjones@hi-homeinspections.com



January 31, 2021

Dear Tejas Patel,

RE: Report No. 4534, v.2
10717 Honeysuckle Way
Plain City, OH
43064

Thank you very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of ASHI. This document defines the scope of a home inspection. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate qualified licensed expert for any repairs or further intrusive inspections as recommended before closing to obtain a true estimate of the entire scope of work.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report. Houses more than 3 years old may have areas that are not current in code requirements. Code changes every 3 years this is not a Code inspection this is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, we will not uncover all safety issues. It is common that homes of any age will have had repairs performed by the owner and some repairs may not be in a workmanlike manner. Some areas may appear less standard. The inspection looks for items that are not functioning as intended. It does not grade the repair.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report, review your contract for more details on this process.

It is in your best interest to have a qualified contractor to review the inspection report, provide a more intrusive overview and estimate the necessary steps to perform a complete remedy to the repairs in question.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Upon clicking electronic acceptance of this agreement you agree to all terms and conditions of Home Inspections LLC contract.

Again, thank you very much for choosing us to perform your home inspection.

Sincerely,

James Jones Licensed
on behalf of
Home Inspections LLC.

Home Inspections LLC.
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INVOICE

January 31, 2021

Client: Tejas Patel

Report No. 4534, v.2

For inspection at:

10717 Honeysuckle Way

Plain City, OH

43064

on: Monday, November 4, 2019

New Construction inspection

\$650.00

Total

\$650.00

PAID IN FULL - THANK YOU!

Home Inspections LLC.
PO Box 1954
Dublin, OH 43017
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jamesjones@hi-homeinspections.com

AGREEMENT

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2
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PARTIES TO THE AGREEMENT

Company

Home Inspections LLC.
PO Box 1954
Dublin, OH 43017

Client

Tejas Patel
10717 Honeysuckle Way
Plain City, OH 43064

Total Fee: \$650.00

This is an agreement between Tejas Patel and Home Inspections LLC..

Scope of Standard Inspection, The inspection is limited in scope. It does not cover all components, units or features of the structure. Your inspector is a home inspection generalist and is not acting as a specialist licensed engineer, or expert in any specific trade or craft. The inspection is not technically exhaustive and is not a substitute for obtaining specialized evaluation of any particular component, unit or feature of the structure, nor is it a home warranty, guarantee, insurance policy or substitute for a statutory property disclosure form. It is a verbal inspection based on the readily accessible areas of the structure. The scope of the inspection is limited to the written findings contained on the inspection report and no other opinions are made, express or implied. The fees listed for this inspection are primarily based upon the size of the house to be inspected. HOME INSPECTIONS LLC the right to omit any area or component that is inaccessible or not operational by controls. If the inspection of a component for reasons outside the inspectors control and that component is omitted from report, the full inspection fee is due and payable. Payment is due at time of inspection. If HOME INSPECTIONS LLC recommends any other person or firm, they should not be automatically hired. CLIENT understands that it is still his or her responsibility to determine whom to hire based on CLIENTS own judgment. Any re-inspection necessary to establish if defect(s) has (have) been repaired properly is not the responsibility of the inspector nor HOME INSPECTIONS LLC. Persons performing repairs on inspected house are to provide the necessary written warranties that their repairs are correct and meet local codes. CLIENT is advised to make his or her own inspection and verification of these matters before settlement of purchase. The inspection will be performed in accordance with the prevailing Standards of Practice and Code of Ethics of the American Society of Home Inspectors, Inc. (ASHI), the requirements of which are expressly incorporated into this Agreement and are categorized in the following areas:

-Structural System -Electrical System -Air Conditioning
-Exterior -Insulation & Ventilation -Heating System
-Roof System -General Limitations & Exclusions -Interior
-Plumbing System -Fireplace and Solid Fuel Appliances

Standards of Practice for ASHI Inspectors <http://www.hi-homeinspections.com/what-we-inspect/> this will be used as a guideline in conducting the inspection. This inspection is not a past or present code compliance inspection. The inspection is essentially visual, is not technically exhaustive and does not imply that every defect will be discovered. The purpose of the inspection is to identify visible defects and/or conditions that are observable at the time of the inspection and in the judgment of the inspector, adversely affects the function of the components and/or systems inspected.

Excluded items. In addition to all other exclusions contained in the ASHI Standards of Practice, and the inspectors inspection report herein, client agrees that the following items are excluded from the scope of inspection unless specifically noted as an optional supplemental service above: swimming pools, hot tubs, saunas, fountains, playground equipment, appliances, underground water and drainage systems, electric fences, lawn systems, water conditioners, termite or other insect infestation or damage, security systems, energy saving devices, seasonal equipment, outdoor grills, cosmetic items, radon gas, asbestos, lead, carbon monoxide, urea formaldehyde, underground storage tanks and septic systems, geological soil conditions or contaminations, visible, hidden or airborne mold, detached structures, EMFs, and all other environmental, hazardous or toxic pollutants. Also, do not evaluate or report on molds, mildews, hazardous

AGREEMENT

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2
www.hi-homeinspections.com

materials, toxic substances, radon or other materials that may be regulated by state, federal or local government agencies. Most houses built before 1978 contain some pollutants such as friable asbestos, lead paint or UFFI. These are more appropriately dealt with by specialty inspections. Environmental concerns, for the purpose of the home inspection report, are not considered a building component of the house. If the inspector observes a questionable material, he/she is not required to recommend a specialty inspection to confirm its contents nor to remove a sample of any suspect material and have it tested.

ADDITIONAL TERMS AND CONDITIONS, INCLUDING BUT NOT LIMITED TO LIMITATION OF LIABILITY AND ARBITRATION PROVISIONS.

TERMS AND CONDITIONS

LIMITATION OF LIABILITY

The liability of inspector for any claim, demand or cause of action whether in contract, tort, statutory or other basis, is expressly limited. Such liability in the aggregate shall not under any circumstance exceed price paid by client for the inspection, and is expressly subject to the clients full compliance with each provision contained herein. In the event that client desires to obtain increased liability coverage, client may do so by offering for acceptance to inspector a payment of ten percent of the desired increase.

SEVERABILITY

In the event that any provision, term or condition contained in the Agreement is declared to be invalid, such declaration shall not affect the validity of any other provision, term or condition, all of which are severable and survive the closing.

CONFIDENTIALITY & NON-ASSIGNABILITY

The inspection report contemplated herein is prepared for the sole, exclusive, and confidential use of client. Any distribution to third parties is not authorized by Inspector and shall be done at clients sole risk and liability. Client agrees to indemnify and hold harmless inspector for any claim advanced by any third party as a result of the distribution of the inspection report. Under no circumstance whatsoever shall any person other than client rely on any information contained in the report, nor is any such person a third party beneficiary of client herein. Unless otherwise expressly agreed to in writing, all opinions of HOME INSPECTIONS LLC and its agents, to include but not limited to any opinions concerning recommendations, procedures and other information which is provided to the CLIENT pursuant to this Agreement, shall be retained as the property of HOME INSPECTIONS LLC. CLIENT agrees that the consideration paid for use of this information entitles CLIENT to a limited license to use such opinions and information solely for CLIENTS purposes relating to the real estate transaction pending on the property listed above with copy provided to selling agent listed on Invoice. CLIENT and agent, by payment of consideration to HOME INSPECTIONS LLC, have not acquired any right to distribute or sell those opinions or information to any other person or entity without the express written permission of HOME INSPECTIONS LLC. In no case does CLIENT acquire any right to use the information and opinions provided to CLIENT pursuant to this Agreement until CLIENT has made payment for same in full to HOME INSPECTIONS LLC. HOME INSPECTIONS LLC is not obligated in any way to verbally discuss this report, or repairs requested by CLIENT, with homeowner, listing agent or contractors.

DISCLAIMERS

The liability of inspector under this Agreement will be terminated if client breaches any term of condition herein, or prevents inspector from fulfilling its responsibilities under this Agreement. INSPECTORS DISCLAIMS AND IS NOT RESPONSIBLE FOR ANY LIABILITY FOR DIRECT, INDIRECT, SPECIAL, PUNITIVE, CONSEQUENTIAL,

AGREEMENT

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2
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INCIDENTAL DAMAGES, INCLUDING LOST RENT OR PERSONAL INJURY, INSPECTOR. INSPECTOR MAKES NO REPRESENTATION, EXPRESS OR IMPLIED, OTHER THAN THE INFORMATION CONTAINED IN THE INSPECTION REPORT.

ANTI SUBORDINATION

Client agrees that its insurance company may assert no claim whatsoever, nor will client provide any insurance company with rights to subjugate under any circumstance whatsoever. Client agrees that it will not assign or transfer any rights hereunder.

ANTI SUBORDINATION

Any claim made to inspector shall be made in writing to inspectors last known business address within three days of discovery. Any Client agrees that it will undertake no remedial action until such time as inspector has been afforded the opportunity to inspect the alleged defect. Failure to do so shall operate as a full complete bar and waiver of any and all claims may have.

PERIOD OF LIMITATIONS

Under no circumstance of whatsoever shall client be entitled to make any claim or demand of any kind after the expiration of thirty (30) days after the date of the inspection, in recognition that the inspection reflects the inspectors observations on the date of inspection only, and is not a warranty or otherwise as to future conditions. HOME INSPECTIONS LLC will charge CLIENT and CLIENT agrees to pay a fee of \$50.00 per hour, including travel portal to portal, for all additional time spent by HOME INSPECTIONS LLC or inspector beyond the scope of this report. This includes all consulting time relating to explanation and/or clarification of report to the CLIENT, seller, buyer, or their agents.

ACCESS TO PROPERTY

Client agrees to grant inspector access to the property for evaluation any notice of claim hereunder. Failure to permit inspector such access will terminate and waive clients rights hereunder.

ENTIRE AGREEMENT

This agreement constitutes the entire agreement between the parties. To the extent there are not other representations or statement, they are integrated herein and shall not be binding on the parties.

ARBITRATION

The parties agree that any and all disputes or controversies that could arise between them or involving the inspection or the property shall be determined exclusively by arbitration, which shall be mandatory, binding, and exclusive. Neither party may sue the other, except to invoke or enforce the arbitration proceedings. The American Arbitration Association shall conduct arbitration, and one arbitrator shall be an individual experienced in home inspections, with credentials recognized by one of the national home inspection trade associations. The sole issue to be presented in such proceedings in whether inspectors inspection was performed in a manner consistent with the Standards of Practice and Code of Ethics of the American Society of Home Inspectors, Inc. If the inspection was so performed, the arbitrator(s) shall enter judgment in favor of inspector. All costs, including reasonable attorneys fees, shall be awarded in favor of the prevailing party.

FRAUD WAIVER AND RELEASE

In any situation where client institutes legal proceedings against the seller for any misrepresentation or fraud in connection with the purchase and sale of the Property as defined herein, inspector shall be released of liability and all

AGREEMENT

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2
www.hi-homeinspections.com

rights there to be waived in their entirety.

GOVERNING LAW

This Agreement shall be interpreted under the laws of Ohio. Venue shall lie in the county where inspectors principal place of business is located.

MISCELLANEOUS

This Agreement shall terminate automatically in the event of non-payment by client on or before the date of the inspection. When services are rendered, payment to HOME INSPECTIONS LLC is due whether CLIENT decides to purchase the home or not. All fees are due at or before the time of inspection via cash, check or credit card. Inspection Report cannot be released until payment is made in full. Service charges will apply to returned checks.

Should any provision of this contract be held to be either invalid or unenforceable, the remaining provisions of this contract shall remain in full force and effect.

Upon clicking electronic acceptance of this agreement you agree to all terms and conditions of Home Inspections LLC contract.

I, Tejas Patel (Signature) _____, (Date) _____, have read, understood and accepted the terms of this agreement.

Description

Sloped roofing material: • Composition shingles

Sloped roof flashing material: • Aluminum

Probability of leakage: • Low

Approximate age: • New

Typical life expectancy: • 25-30 years

Limitations

Roof inspection limited/prevented by:

- Lack of access (too high/steep)

The design pitch or height of this roof limited our inspection to a visual observation of the entire roof surface/upper roof surface from the ground/ladder/Gutter edge. Although no apparent concerns exist in the areas inspected and no evidence of active or prior water seepage was noted during our inspection of the attic and interior room ceiling is a qualified roofing contractor might be consulted if a more thorough examination of the roof is desired.

Inspection performed: • From roof edge • From the ground

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Age determined by: • Visual inspection from roof surface

Recommendations

SLOPED ROOFING \ Asphalt shingles

1. Condition: • Damage

The roof has various areas of damage from high traffic during construction. I recommend roof be evaluated by a qualified roofing contractor and repairs made as necessary.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Roof

Task: Repair

ROOFING

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



1. Damage

SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

2. Condition: • Loose, damaged, patched, open seams

The roof flashing has damaged, loose or open seam. The flashing is designed to divert water from entering the structure. When the flashing is past it's life expectancy it will fail, caulking and taring these area is a temporary fix. I recommend contact a qualified roofer to make any and all repairs as necessary.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Front Exterior Porch

Task: Repair



2. Damage, loose, open seams, patched

EXTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2
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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

General: • Inspection of all exterior flashing

Gutter & downspout material: • Aluminum

Gutter & downspout type: • Eave mounted

Gutter & downspout discharge: • Below grade

Downspout discharge: • Below grade

Lot slope: • Incomplete

Soffit (underside of eaves) and fascia (front edge of eaves): • Cellulose Fiber Board • Cellulose Fiber Board

Wall surfaces and trim: • Fiber cement • Fiber cement

Retaining wall: • Inspection of retaining walls that adversely affect the building • None • None

Driveway: • Concrete

Walkway: • Concrete

Porch: • Concrete

Exterior steps: • Concrete

Fence: • No Fence

Garage: • Attached • Detached

Carport: • Detached

Limitations

Inspection limited/prevented by: • Inaccessible wall

No or limited access to: • Incomplete Construction Item On Exterior • Incomplete Construction Item On Exterior

Upper floors inspected from: • Ground level

Exterior inspected from: • Ground level

Not included as part of a building inspection: • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Screens, shutters, awnings, and similar seasonal accessories • Erosion control, earth stabilization measures

Recommendations

ROOF DRAINAGE \ Downspouts

3. Condition: • Connections loose

Loose connection can cause water damage to the structure. I recommend this to be repaired to prevent water damage.

Implication(s): Leakage

Location: Rear Exterior Down Spout

Task: Repair



3. Connections loose

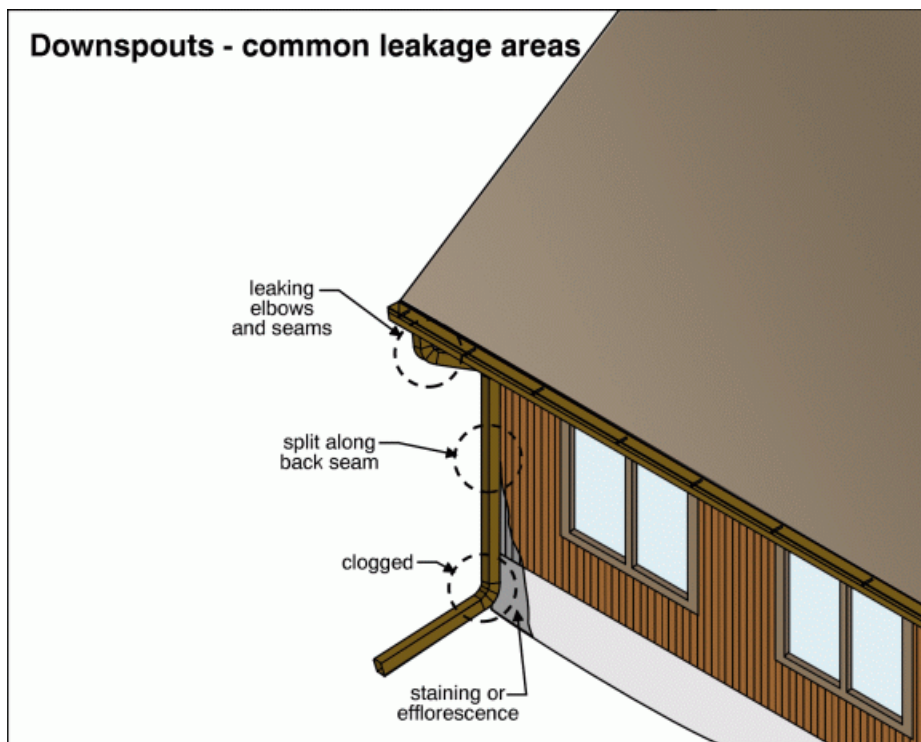
4. Condition: • Damage

PVC is damaged, I recommend the perimeter drain be repaired to prevent water damage to the structure.

Implication(s): Chance of water damage to structure, finishes and contents

Location: South Elevation Storm Drain

Task: Repair



EXTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



4. *Damage*

5. Condition: • Damage

The downspout is damaged, I recommend the downspout be repaired to prevent water damage.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear left corner

Task: Repair



5. *Damage*

EXTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

www.hi-homeinspections.com

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

WALLS \ Trim

6. Condition: • The exterior trim has cosmetic defects in the finish, I recommend consulting the current owner to find a remedy for these blemishes.

Location: Rear Exterior Upper Elevation Inside Corner

Task: Repair



6. The exterior trim has cosmetic defects in...

7. Condition: • The exterior trim has cosmetic defects in the finish, I recommend consulting the current owner to find a remedy for these blemishes.

Location: Rear Exterior Upper Elevation Inside Corner

Task: Repair

WALLS \ Plywood, hardboard, and OSB (Oriented Strand Board)

8. Condition: • The sub siding is not flush to the stud. I recommend removing all fasteners and obstructions, so the material can be installed to the manufacture specifications.

Location: Kitchen

Task: Repair

EXTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2
www.hi-homeinspections.com

- ROOFING
- EXTERIOR**
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE



7.



8.



9.

WALLS \ Masonry (brick, stone) and concrete

9. Condition: • Cracked

The masonry is cracked and appears to be in needed of repair. I recommend contacting a qualified professional to make any and all repairs as needed.

Implication(s): Chance of water entering building | Weakened structure | Chance of movement

Location: Single Garage

Task: Repair



10. Cracked

10. Condition: • Missing, ineffective weep holes or flashings

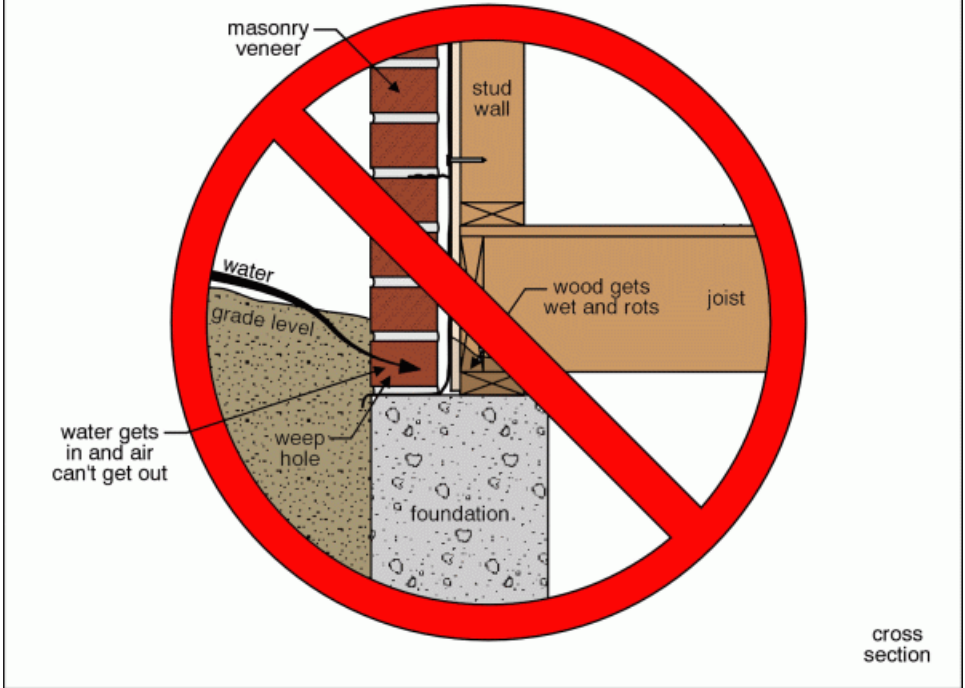
As is, unfortunately typical of installation in this area the stone veneer has been applied without the benefit of certain best practices one of these is flashing a thin impervious material placed in mortar joints through air spaces in masonry to prevent water penetration and/or provide water drainage. Flashing should extend to the surface of the exterior wall finish above All openings and horizontal transitions. Another is weep holes. These are openings placed in mortar joints of facing material at the level of flashing, to permit the escape of moisture. There were no weep holes or flashing visible in the brick veneer above or below the windows. Absent these details, there is an increased risk of water penetration and damage to the building. Water damage can be difficult to detect without the use of invasive or destructive means that are beyond the scope of this inspection. It is recommended by the Brick Industry Association that weep holes and flashing be installed to allow water or moisture to escape. Recommendation is to contact qualified masonry contractor for an evaluation.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

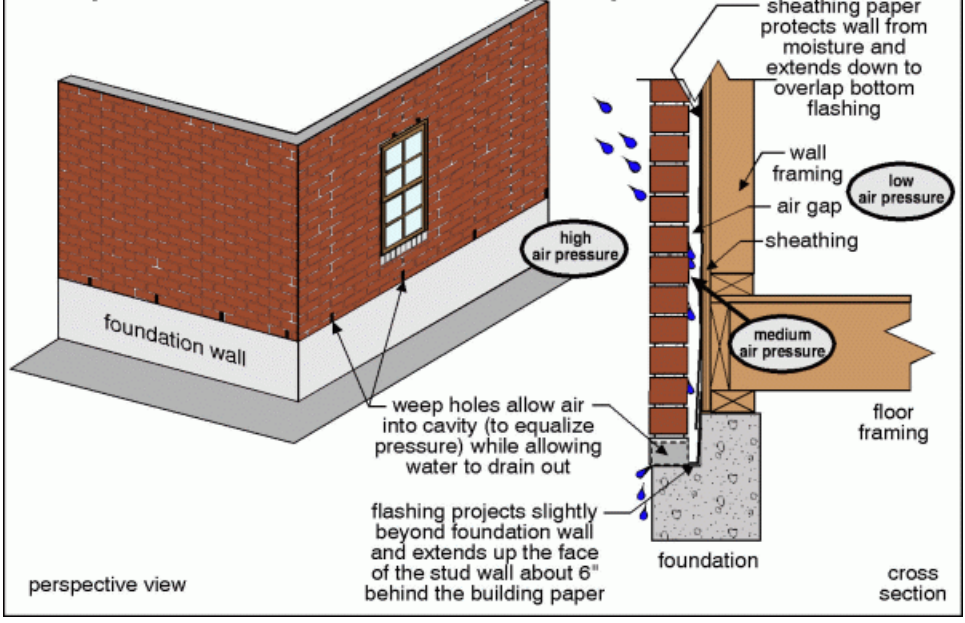
Location: Exterior Stone

Task: Request Disclosure

Weep holes below grade



Weep holes - vented rain screen principle



EXTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



11. *Missing, ineffective weep holes or flashings*

WALLS \ Fiber cement siding

11. Condition: • Mechanical damage

The fiber cement siding is damaged from handle during construction. I recommend contacting a certified contractors to make any and all repairs.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior Left

Task: Repair

EXTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

www.hi-homeinspections.com

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



12. Mechanical damage

12. Condition: • Mechanical damage

The fiber cement siding is damaged from handle during construction. I recommend contacting a certified contractors to make any and all repairs.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior Siding South EElevation, Front Exterior

Task: Repair

EXTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2
www.hi-homeinspections.com

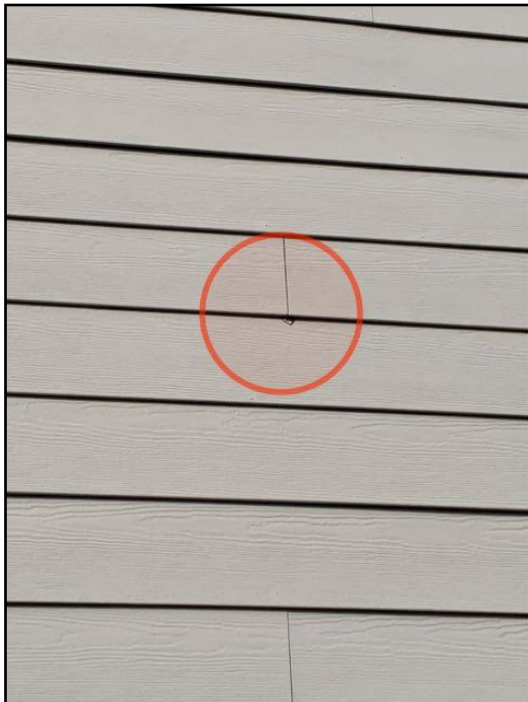
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- EXTERIOR**
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE



13. Mechanical damage



14. Mechanical damage



15. Mechanical damage



16. Mechanical damage

EXTERIOR

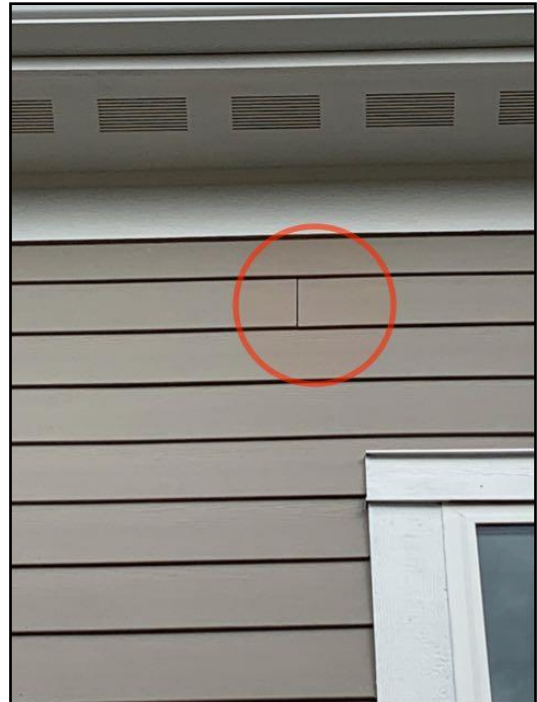
10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2
www.hi-homeinspections.com

- ROOFING
- EXTERIOR**
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE



17. Mechanical damage



18. Mechanical damage



19. Mechanical damage

13. Condition: • Fiber Cement lap siding is great product, but it only performs as well as its installed. James Hardie siding is a fiber-cement product that comes with a 30 or 50 year warranty, but any warranty will be void if the product is improperly installed.

Listed below are a few of the most common installation defects that I find. The funny thing about these installation defects is that the installation instructions are very clear and very specific.

Improper Clearances

Must be kept 2" away from roof surfaces, decks, driveways, steps, and other similar hard surfaces.

Must be kept 6" above the finished grade.

Gutters must be kept 1" away from the siding, and kickout flashing needs to be installed.

Must be kept 1/4" above flashing above windows, and not caulked here.

Improperly Attached

Must be blind nailed or face nailed, but not both.

The proper size nails must be used (6d or siding nails). Framing nails (16d).

The nails must be driven in straight, and must not be over-driven or under-driven.

Location: Siding Various Locations

Task: Repair



20. Nailing problems



21. Nailing problems



22. Nailing problems

EXTERIOR GLASS/WINDOWS \ Window wells

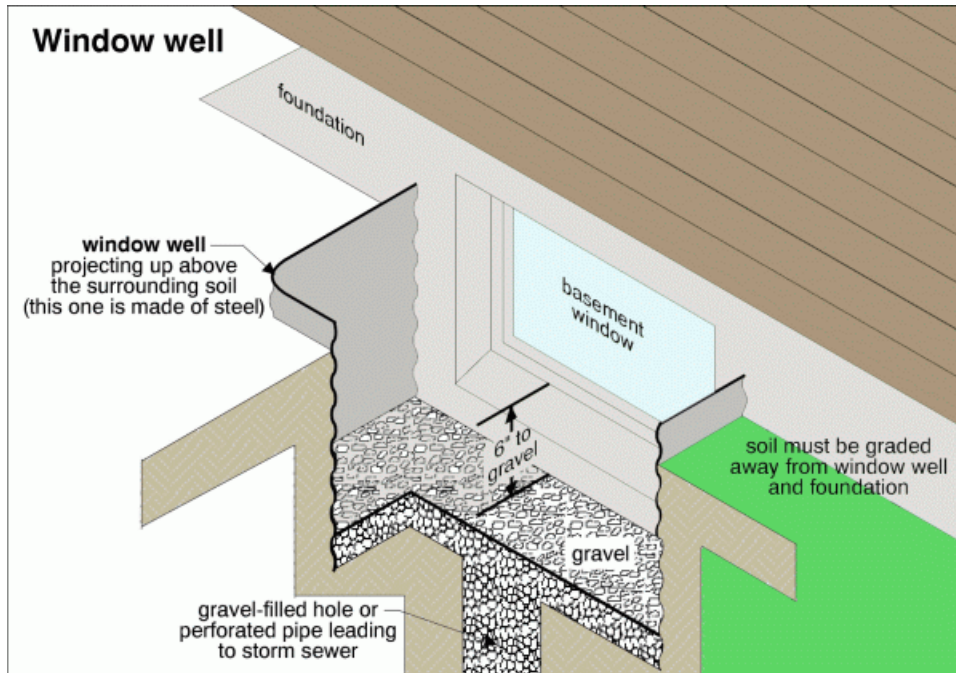
14. Condition: • Missing

Missing window wells throughout exterior improvement needed. These wells are known to prevent precipitation from entering the structure. I recommend these wells to be added to prevent such occurrences. A quality window that will not allow the elements to enter the home should be added at these locations, to prevent water damage to the structure.

Implication(s): Material deterioration | Chance of water damage to structure, finishes and contents

Location: Exterior Wells

Task: Repair



EXTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



23. A window well is the area outside a...

LANDSCAPING \ Walkway

15. Condition: • Cracked or damaged surfaces

The concrete finish is damaged exposing the aggregate. This is a cosmetic defect caused during the construction process. I recommend to avoid a trip hazard this condition should be improved.

Implication(s): Trip or fall hazard

Location: Front Walkway

Task: Repair

EXTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

www.hi-homeinspections.com

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

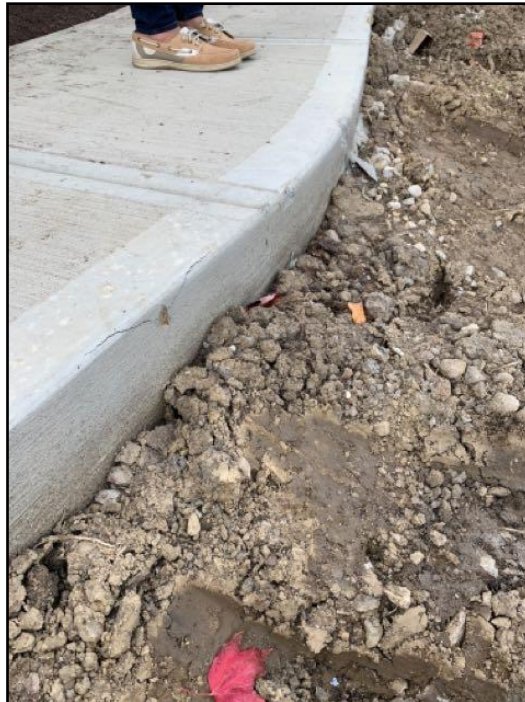
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



24. Cracked or damaged surfaces

LANDSCAPING \ Driveway

16. Condition: • Cracked or damaged surfaces

Cracks in concrete are a result of settling, the aggregate beneath the placed concrete is eroding. When the aggregate is disturbed the slab will move causing it to crack. I recommend the joint be sealed to prevent further movement contact a qualified contractor to make any and all repairs.

Implication(s): Trip or fall hazard

Location: Driveway

Task: Repair

EXTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

www.hi-homeinspections.com

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



25. *Cracked or damaged surfaces*

Description

Configuration: • Basement

Foundation material: • Poured concrete

Floor construction:

• Subfloor - OSB (Oriented Strand Board)



26. Subfloor - OSB (Oriented Strand Board)

Exterior wall construction: • Wood frame

Roof and ceiling framing:

• Trusses



27. Trusses

- Oriented Strand Board (OSB) sheathing



28. Oriented Strand Board (OSB) sheathing

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Carpet/furnishings

Attic/roof space: • Attic was inspected from hatch with limited access. No walk boards installed to inspect the entirety of the attic space. It is unsafe to traverse attic load-bearing components that are concealed by insulation or by other materials. • Attic was inspected from hatch with limited access. No walk boards installed to inspect the entirety of the attic space. It is unsafe to traverse attic load-bearing components that are concealed by insulation or by other materials.

Knee wall areas: • No Knee Wall • No Knee Wall

Crawlspace: • No Crawlspace • No Crawlspace

Percent of foundation not visible: • 75 % • Please keep in mind that we cannot be responsible for damage hidden from our view, due to insulated or finished walls, ceiling coverings or inaccessible areas. • Please keep in mind that we cannot be responsible for damage hidden from our view, due to insulated or finished walls, ceiling coverings or inaccessible areas.

Not included as part of a building inspection: • Visible mold evaluation is not included in the building inspection report • An opinion about the adequacy of structural components • Access opening smaller than 16 inches x 24 inches cannot be entered in under-floor crawlspace areas • Attic load bearing components concealed by insulation cannot be traversed

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Recommendations

FLOORS \ Sills

17. Condition: • Anchor bolts missing

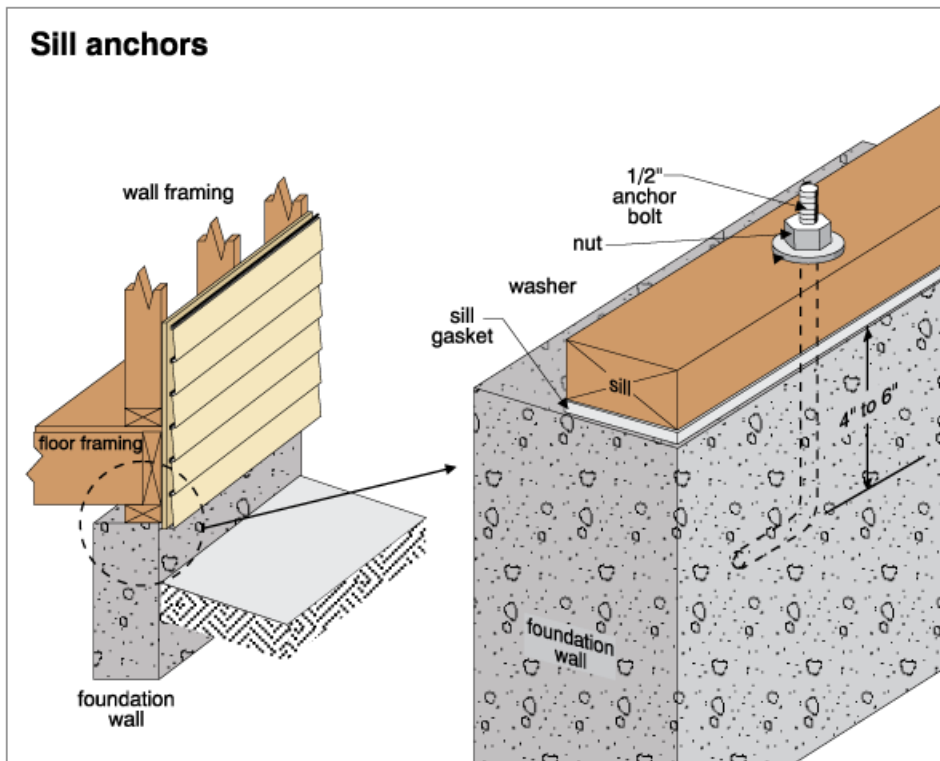
R403.1.6 Foundation anchorage. Sill plates and walls supported directly on continuous foundations shall be anchored to the foundation in accordance with this section.

Wood sole plates at all exterior walls on monolithic slabs, wood sole plates of braced wall panels at building interiors on monolithic slabs and all wood sill plates shall be anchored to the foundation with anchor bolts spaced a maximum of 6 feet (1829 mm) on center. Bolts shall be at least 1/2 inch (12.7 mm) in diameter and shall extend a minimum of 7 inches (178 mm) into concrete or grouted cells of concrete masonry units. A nut and washer shall be tightened on each anchor bolt. There shall be a minimum of two bolts per plate section with one bolt located not more than 12 inches (305 mm) or less than seven bolt diameters from each end of the plate section. Interior bearing wall sole plates on monolithic slab foundation that are not part of a braced wall panel shall be positively anchored with approved fasteners. Sill plates and sole plates shall be protected against decay and termites where required by Sections R317 and R318. Cold-formed steel framing systems shall be fastened to wood sill plates or anchored directly to the foundation as required in Section R505.3.1 or R603.3.1.

Implication(s): Chance of structural movement | Weakened structure

Location: Rec Room

Task: Repair



29. Missing

FLOORS \ Joists

18. **Condition:** • Poor end bearing, joist hanger connections

Joist hangers will provide assurance that the floor will not eventually move causing serious structural damage. I

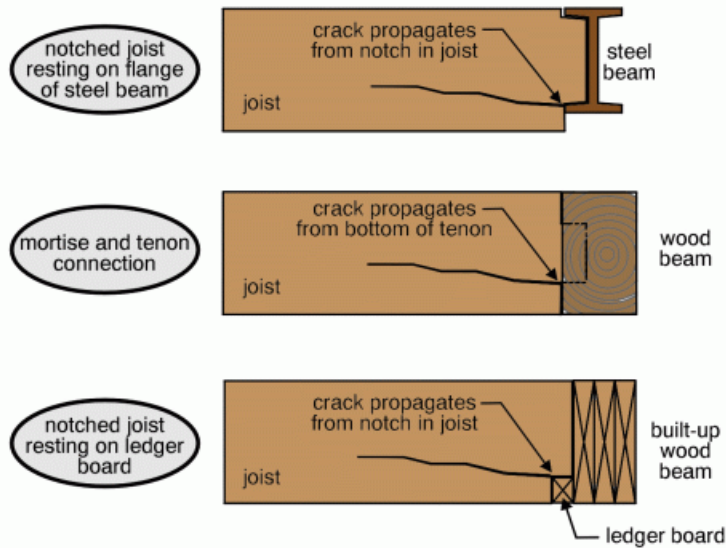
recommend you contact the general contractor to make any and all repairs as needed.

Implication(s): Weakened structure | Chance of structural movement

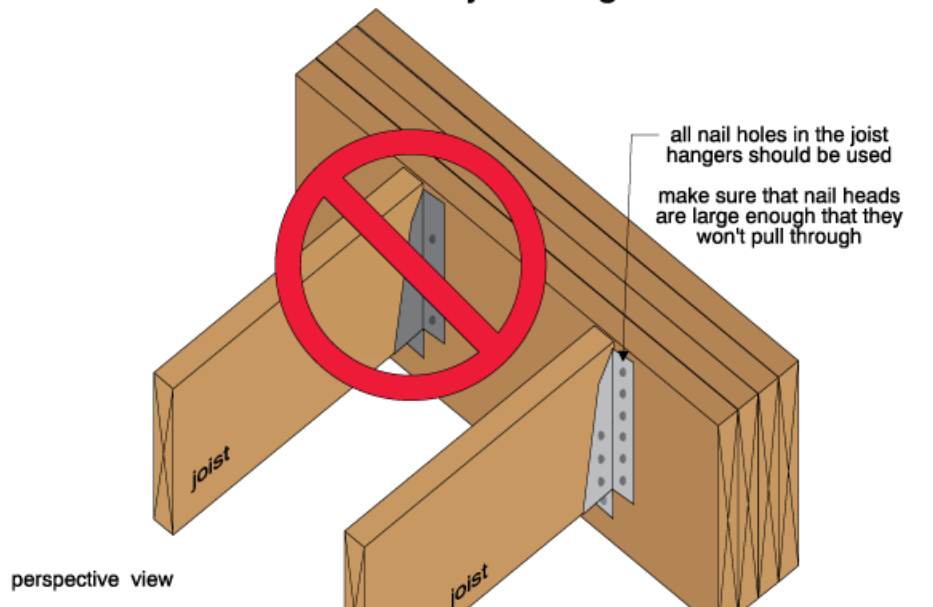
Location: Rec room

Task: Repair

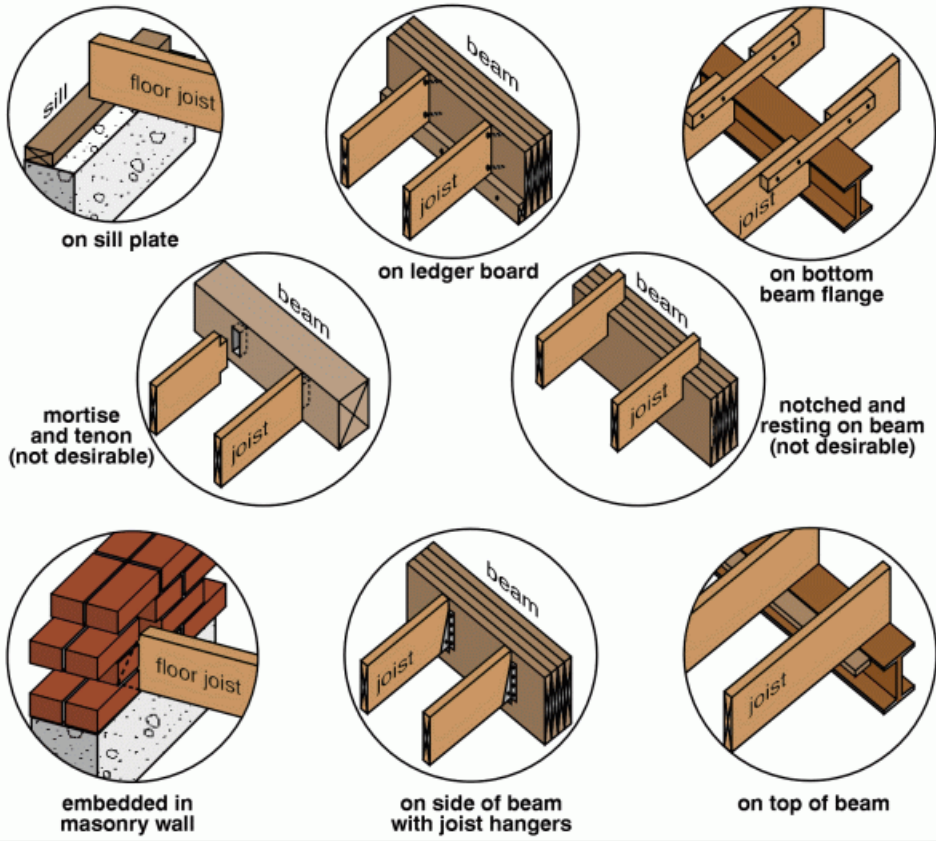
Examples of weak joist/beam connections



Watch for insufficient nails in joist hangers



Different types of joist end support

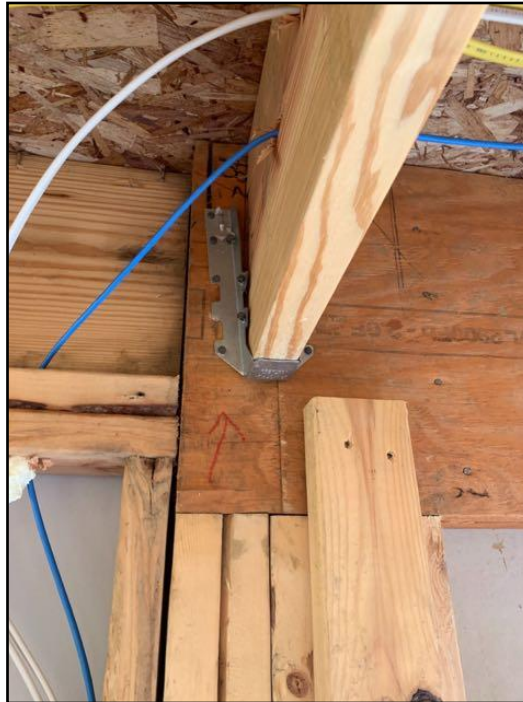


30. Missing

19. Condition: • Hangers and straps should be secured, each nail opening is required to have the proper fastener. I recommend the strap or hanger installation be reviewed and the necessary corrections made.

Location: Garage Joist Hunger

Task: Repair



31. *Hangers and straps should be secured, each...*

20. Condition: • The Joist is missed aligned. Building materials that are not square, plumb or level can cause structural issue when the structure begins to settle. I recommend correcting these issues to produce a quality building product.

Location: Morning Room & Study Joist

Task: Repair

STRUCTURE

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

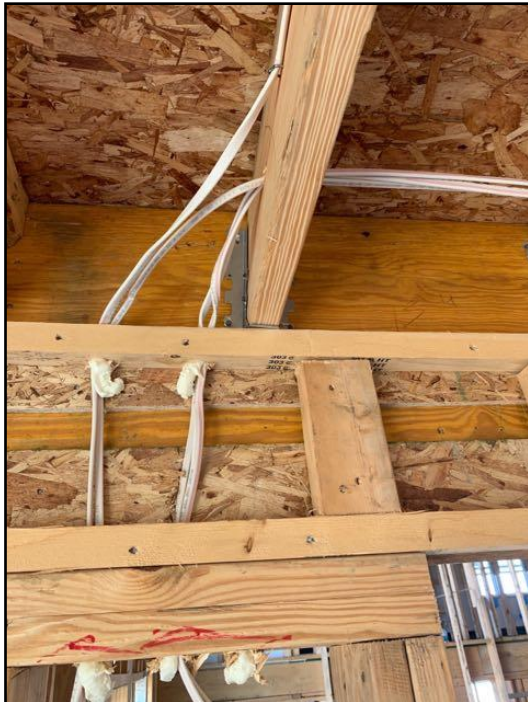
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



32.



33.

21. Condition: • A section of the rim joist is missing. I recommend contacting the qualified contractors to make the necessary repairs.

Location: Rec room

Task: Repair



34.



35.

22. Condition: • Improper nail pattern. I recommend verifying with the contractor the fasteners secure the framing members properly.

Location: Floor Joist Various Locations

Task: Repair



36.



37.

FLOORS \ Sheathing/Subflooring

23. Condition: • The subfloor is the foundation for the wood floor. Whatever happens below, will undoubtedly affect what's on top. In other words, an improperly prepared or inadequate subfloor will adversely affect how the finished floor performs. Subfloor flatness is one of the many considerations that should be addressed before installation of any finished floor.

Location: Various Locations

Task: Repair

STRUCTURE

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

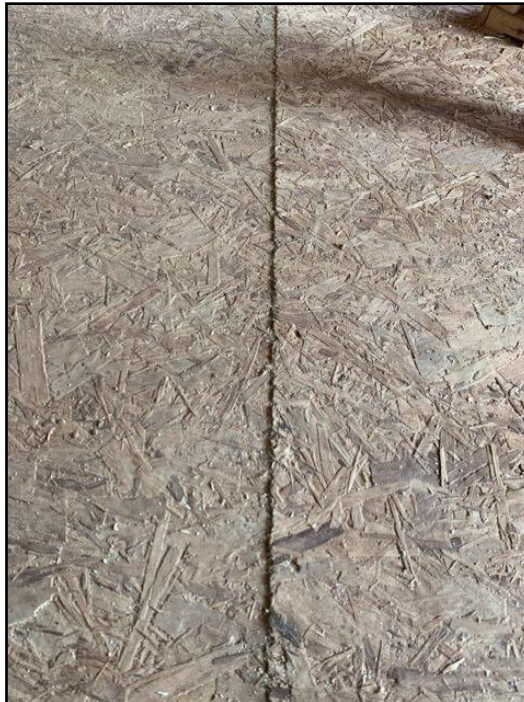
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



38. *The subfloor is the foundation for the wood...*

24. Condition: • blank note

Location: Floor Various Locations

Task: Repair



39.

WALLS \ Wood frame walls

25. Condition: • Firestopping missing

Fireblocks are required between floors, between a top story and a roof or attic space, in furred spaces or the cavities between studs in wall assemblies, at connections between horizontal and vertical spaces created in floor joists or trusses, soffits, drop or cove ceilings, combustible exterior wall finishes and architectural elements, and at openings for pipes, vents, ducts, chimneys, and fireplaces.

Fireblocks conform to innumerable configurations, depending on the dimensions and location of the concealed space. Section 717 of the IBC is a dedicated section that provides the description of concealed spaces and fireblocking. Section 717.2.1 identifies the materials that are acceptable for use as fireblocks. Fireblocks can be constructed of materials such as 2 inch nominal lumber, structural wood panels, gypsum board, cement fiber board for larger fireblock, and batts or blankets of mineral wool or glass fiber, loose fill insulation, and caulks, sealants, and putties for smaller fireblocks. Similar text appears in the IRC.

Implication(s): Chance of structural movement | Weakened structure

Location: Bathroom 2

Task: Repair



40. *Firestopping missing*

26. Condition: • Poor nailing

A typical nailing pattern for a standard exterior substrate wall is to insert one 8d nail or staple every six inches along seams and in every stud that lies beneath the plane. In some cases, the architect or engineer could call for a tighter nailing pattern if the wall requires more shear strength, so consult the plans before hanging the panels. I recommend consulting the builder to verify the sheathing is installed correctly.

Implication(s): Chance of structural movement | Weakened structure

Location: Various Throughout Structure

Task: Repair

STRUCTURE

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



41. Poor nailing

27. Condition: • Offset excessive

A portion of the partition does not rest on the concentrated load. I recommend consulting the contractor for a remedy that meets today's building standards.

Implication(s): Weakened structure | Chance of structural movement

Location: Strairwell

Task: Repair



42. *Offset excessive*

28. Condition: • The use of damaged or poor quality framing members can cause many undesirable implications. Some typical flaws that show up in your finishes our countertops and Cabinets not flush to the wall with large caulk lines, wavy baseboards, bulges and premature drywall flaws.

Damaged framing members or poor quality installation should be improved in order to prevent issues during the installation of the final finishes.

Location: Master Bedroom Tray Ceiling, Great Room, Study, Second Floor Evaluation Great Room, Bedroom 3, Bedroom 4

Task: Repair



43. Mechanical damage



44. Mechanical damage



45. Leaning, bowing, buckling



46. Leaning, bowing, buckling

STRUCTURE

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2
www.hi-homeinspections.com

- ROOFING
- EXTERIOR
- STRUCTURE**
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE



47. Leaning, bowing, buckling



48. Framing



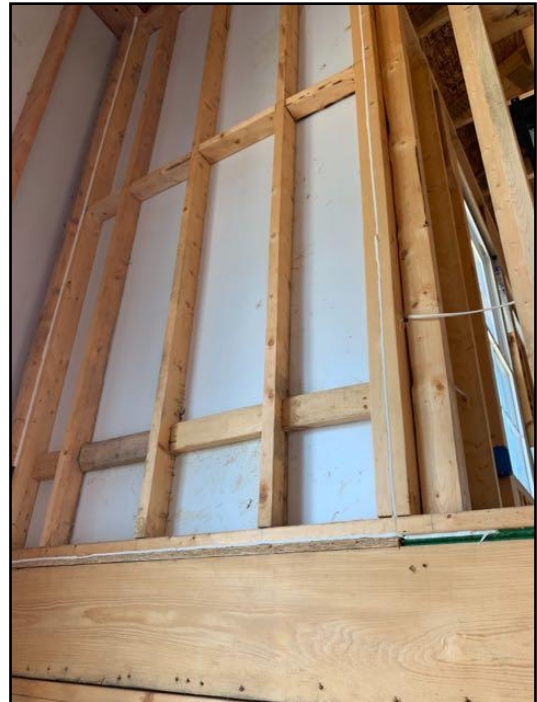
49. The use of damaged or poor quality framing...



50. The use of damaged or poor quality framing...



51. The use of damaged or poor quality framing...



52. The use of damaged or poor quality framing...



53. The use of damaged or poor quality framing...

29. Condition: • Un-flush Studs within the framing system can cause problems for interior final finishes. I recommend the stud be flushed with neighboring framing members to prevent cosmetic defects.

Location: Nailer Above Fireplace

Task: Repair



54. Un-flush Studs within the framing system ca...

30. Condition: • Components of the partition missing at this location. I recommend consulting the builder to find a remedy

Location: Closet, Laundry Room

Task: Repair



55.



56.

ROOF FRAMING \ Rafter/trusses

31. Condition: • Truss installation have both temporary and permanent bracing. Temporary bracing is needed to keep the trusses from falling over like dominoes during construction. Its the permanent bracing that were concerned about. Bracing can be either continuous lateral restraint (CLR) or individual web member reinforcement such as T-reinforcement. In older publications, CLR was called continuous lateral bracing (CLB).

Bracing thats required but not installed is an obvious problem.

Bracing lumber should be 2"x4" stress-grade lumber unless otherwise specified by the designer.

Each connection should have at least two nails.

CLR must be connected to a fixed point in the building (such as a shear wall or roof plane) or it must be diagonally braced. This includes the top chords of the lower set of trusses in a piggyback configuration.

CLR is not effective when the web pattern changes from one truss to the next T-reinforcement should be used instead.

T-reinforcement should be 90 percent of the length of the web member and nailed at 6" on center unless specified otherwise by the designer.

CLR is not effective when applied to trusses that do not have similar web patterns.

Other issues related to bracing include:

Bracing needs to be tight to the web member to be effective.

CLR should be roughly centered in the span

CLR should be installed so that it does not block the access hatch.

T-reinforcement must be continuous; its not effective if its spliced in the middle.

Gable end trusses sometimes require special bracing particularly in high wind areas.

Location: Closet One, Bedroom 4

Task: Repair



57. Truss installation have both temporary and...

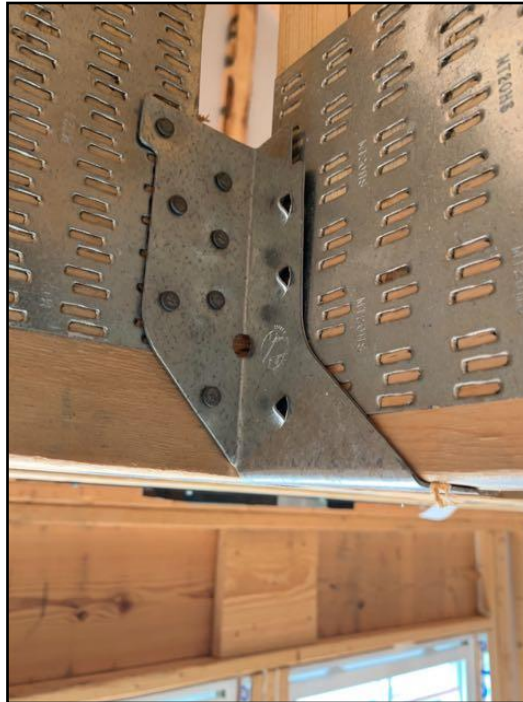


58. Truss installation have both temporary and...

32. Condition: • Hangers and straps should be secured, each nail opening is required to have the proper fastener. I recommend the strap or hanger installation be reviewed and the necessary corrections made.

Location: Bedroom 2

Task: repair

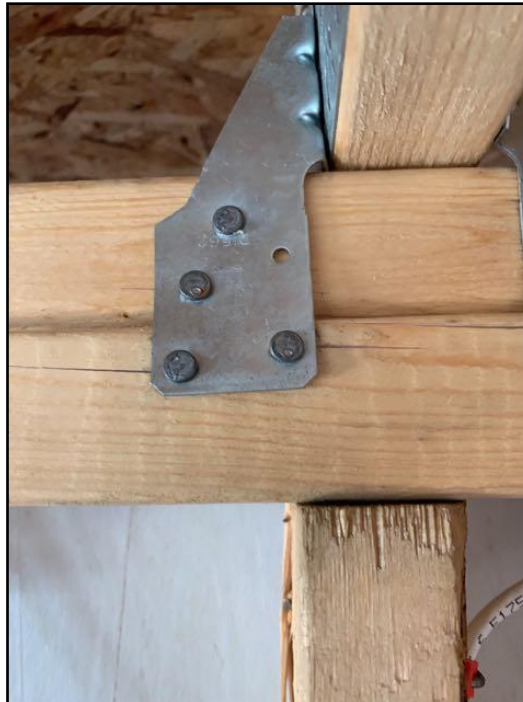


59.

33. Condition: • Hangers and straps should be secured, each nail opening is required to have the proper fastener. I recommend the strap or hanger installation be reviewed and the necessary corrections made.

Location: Various Locations Master Bedroom

Task: Repair



60.

ROOF FRAMING \ Sheathing

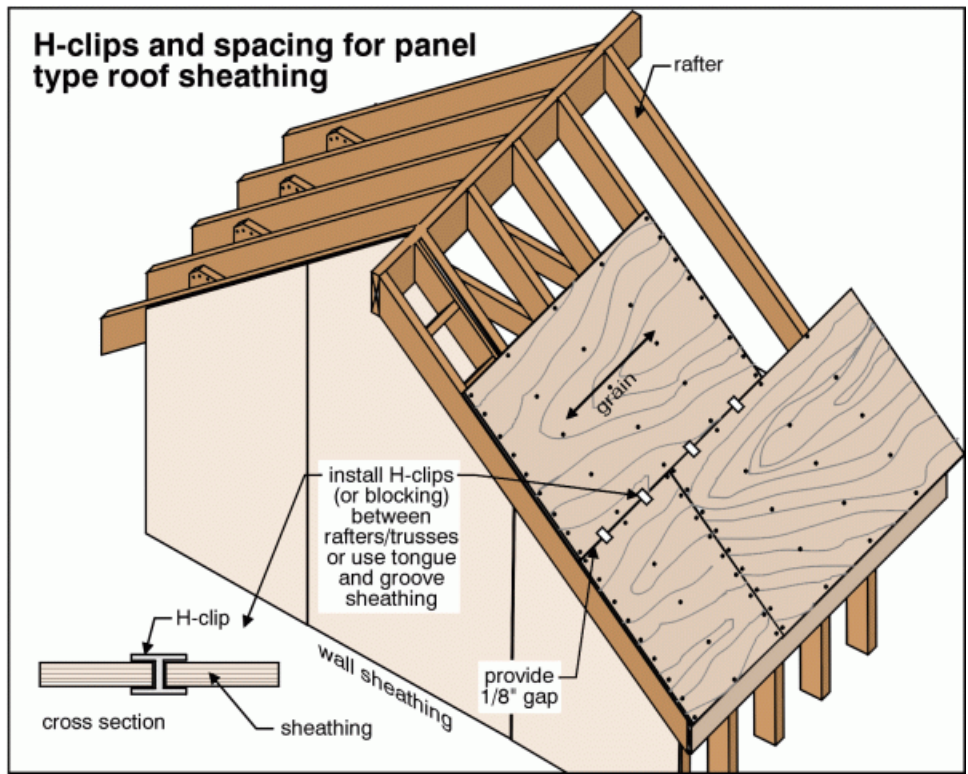
34. Condition: • H-clips missing

A panel edge clip (often called an H-clip) is typically a small piece of galvanized metal that is placed between adjacent wood structural sheathing panels at a location between supporting joists or trusses and/or rafters to provide support to panel edges. The common thickness of the H-clip sheet metal is between 18 and 20 gauge (1.21 mm and 0.91 mm). In general, H-clips are used to reduce the effective spacing of the framing members by improving the load distribution across the panel width (4-foot ends), increasing the stiffness of the roof and/or floor deck. In addition, H-clips provide the recommended spacing between two adjoining panel edges, allowing room for panel expansion if the panels get wet during construction. Because H-clips are not load rated, code approval is not required. Based on gravity loading requirements, building codes often require that H-clips or other means such as tongue-and-groove edges or lumber blocking be used to support panel edges. H-clips are an alternative to solid lumber blocking and tongue-and-groove panel edges.

Implication(s): Weakened structure

Location: Master bedroom

Task: Repair



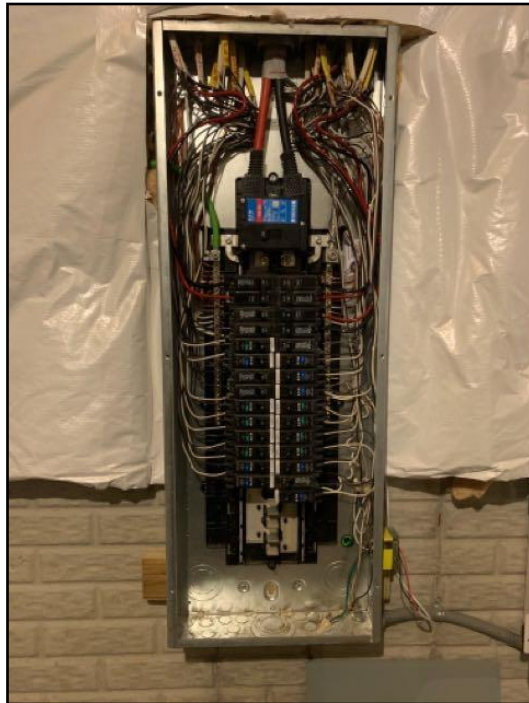
61. H-clips missing

Description

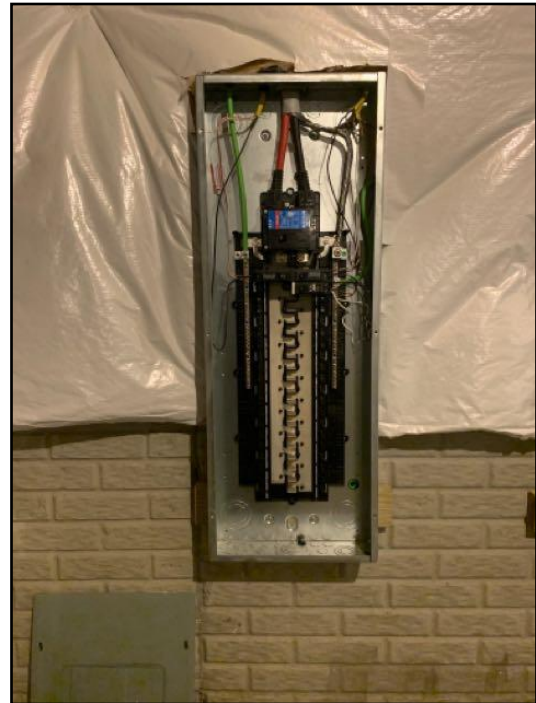
Service entrance cable and location: • Underground aluminum

Main disconnect/service box rating:

• 200 Amps



62. 200 Amps



63. 200 Amps

Main disconnect/service box type and location: • Breakers - basement

System grounding material and type: • Copper - ground rods • Gas Line Ground

Distribution panel type and location: • Breakers - basement

Distribution panel rating: • 200 Amps

Electrical panel manufacturers: • Eaton/Cutler-Hammer

Auxiliary panel (subpanel) type and location: • Breakers - basement

Number of circuits installed: • 29

Distribution wire (conductor) material and type: • Copper - non-metallic sheathed

Type and number of outlets (receptacles): • Grounded and ungrounded - typical

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • GFCI Present

Smoke alarms (detectors): • Present

Carbon monoxide (CO) alarms (detectors): • Combination smoke/CO alarm(s) noted

Recommendations

SERVICE BOX, GROUNDING AND PANEL \ Service box

35. Condition: • The electrical service box has a tendency to move overtime due to normal settling of the structure. I recommend the blocking the service boxe is fastened to be secured to permanent structural members.

Location: Service Box

Task: Repair



64.



65.

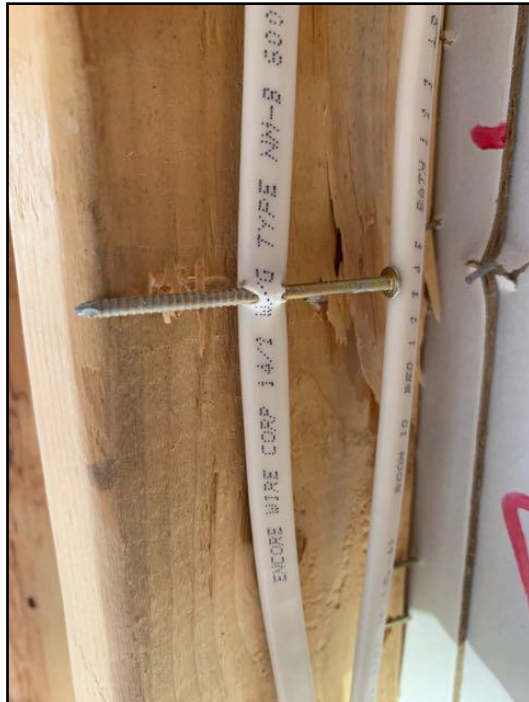
DISTRIBUTION SYSTEM \ Wiring - damaged or exposed

36. Condition: • Damage

The insulation is damaged leaving exposed non-insulated wiring. The wiring with damaged insulation could possibly cause arcing, I recommend this condition be improved to prevent safety risk.

Implication(s): Electric shock | Fire hazard

Location: Bedrooms 4, Bedroom 3



66. Poor nailing



67. Poor nailing

37. Condition: • Exposed on walls or ceilings

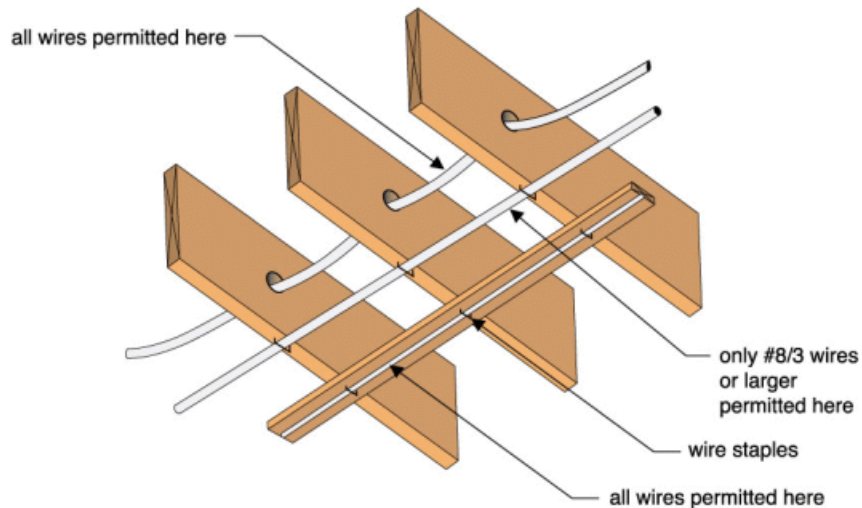
Romax wiring should not be exposed outside the wall cavity without proper fastening or securing to studs. I recommend contacting a qualified electrician to make any and all repairs as necessary.

Implication(s): Electric shock

Location: Rec Room

Task: Repair

Wire installations below floors



68. Exposed on walls or ceilings

DISTRIBUTION SYSTEM \ Outlets (receptacles)

38. Condition: • Inoperative

The most common cause of inoperative circuits is a short or damaged fixture. I recommend contacting a qualified electrical contractor to troubleshoot these device to find a remedy.

Implication(s): Equipment inoperative

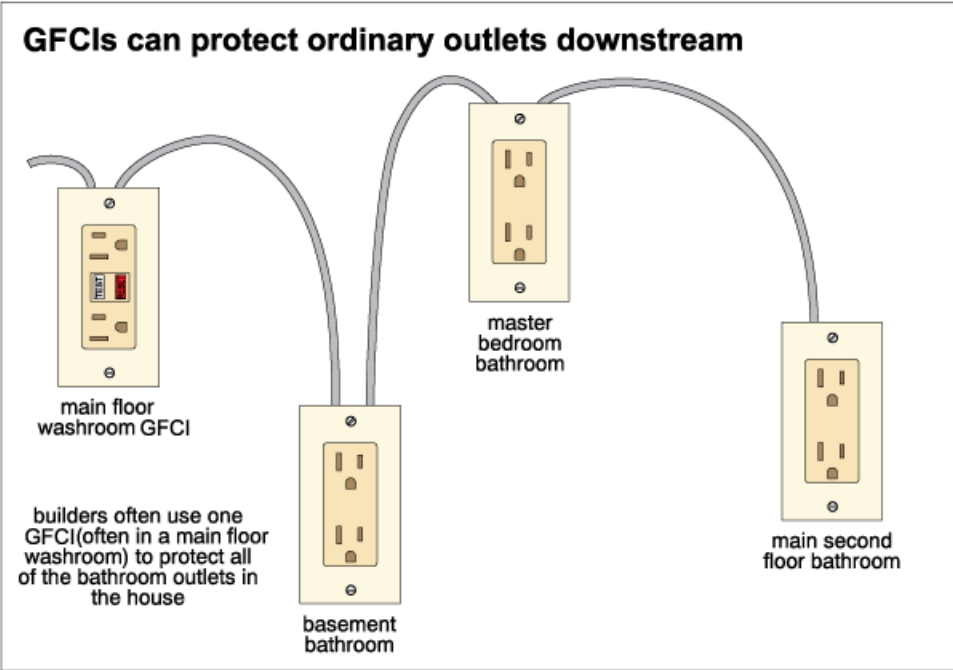
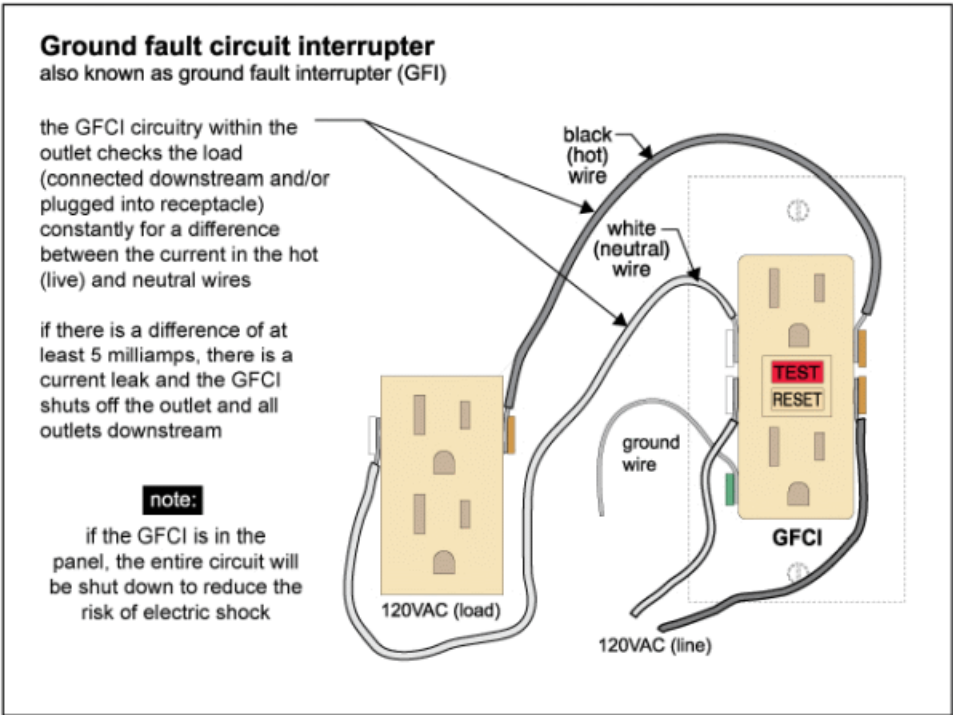
Location: Basement Receptacles

Task: Repair



69. Inoperative

39. Condition: • [The Installation of ground fault circuit interrupter \(GFCI\) outlets is advisable in Bathrooms, Kitchens, Exterior, Basements, Garages Laundry Room.](#) A (GFCI) outlet offers protection from shock or electrocution. The Ground fault circuit interrupter (GFCI) is Inoperative or missing during this inspection. Exterior GFCI's shall be installed with weather proof housing. The receptacle should be repaired or replaced



40. Condition: • [The Installation of ground fault circuit interrupter \(GFCI\) outlets is advisable in Bathrooms, Kitchens, Exterior, Basements, Garages Laundry Room.](#) A (GFCI) outlet offers protection from shock or electrocution. The Ground fault circuit interrupter (GFCI) is Inoperative or missing during this inspection. Exterior GFCI's shall be installed with weather proof housing. The receptacle should be repaired or replaced

DISTRIBUTION SYSTEM \ Lights

41. Condition: • Inoperative

The most common cause of inoperative circuits is a short or damaged fixture. I recommend contacting a qualified electrical contractor to troubleshoot these device to find a remedy.

Implication(s): Inadequate lighting

Location: Second Floor Front Right bathroom

Task: Repair



70. *Inoperative*

42. Condition: • Missing

The light fixture is missing at this location leaving wiring exposed to the occupants. I recommend this electrical hazard be remedied to improve safety.

Implication(s): Inadequate lighting

Location: Exterior fixtures, Master bedroom closet

Task: Various locations

ELECTRICAL

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

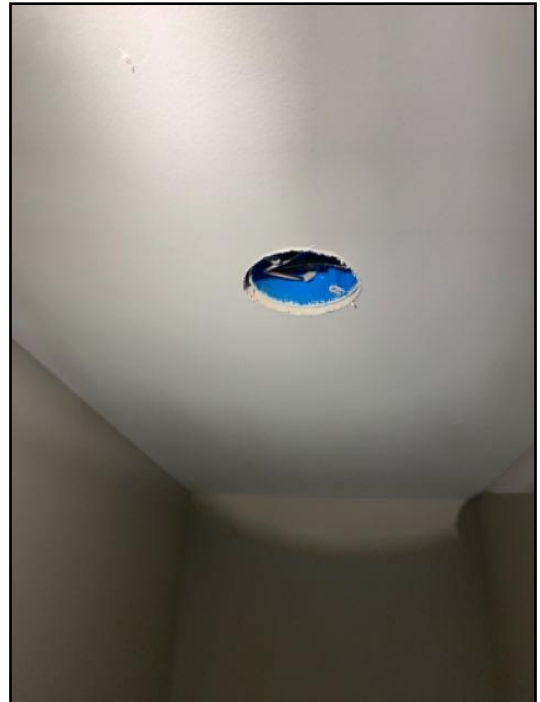
PLUMBING

INTERIOR

REFERENCE



71. Missing



72. Missing

HEATING

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

General: • All readily openable access panels were opened

System type: • Furnace

Furnace manufacturer: • Goodman

Approximate capacity:

• 60,000 BTU/hr

Second Floor

Efficiency: • High-efficiency

Combustion air source: • Outside - sealed combustion

Approximate age: • New

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Supply temperature:

• 120°

Second Floor



73. 120°

• 120°

First Floor

HEATING

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2
www.hi-homeinspections.com

- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING**
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE



74. 120°

Return temperature:

- 70°
First Floor



75. 70°

- 75°

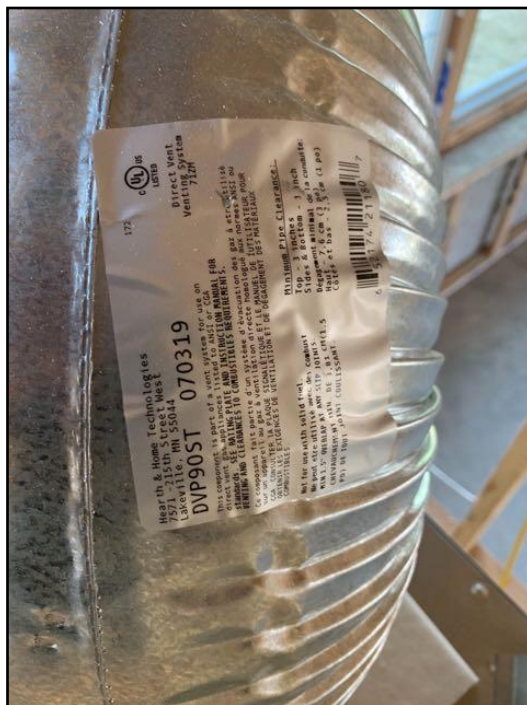
Second Floor



76. 75°

Chimney/vent:

- Metal



77. Metal



78. Metal

Chimney liner: • Metal

Limitations

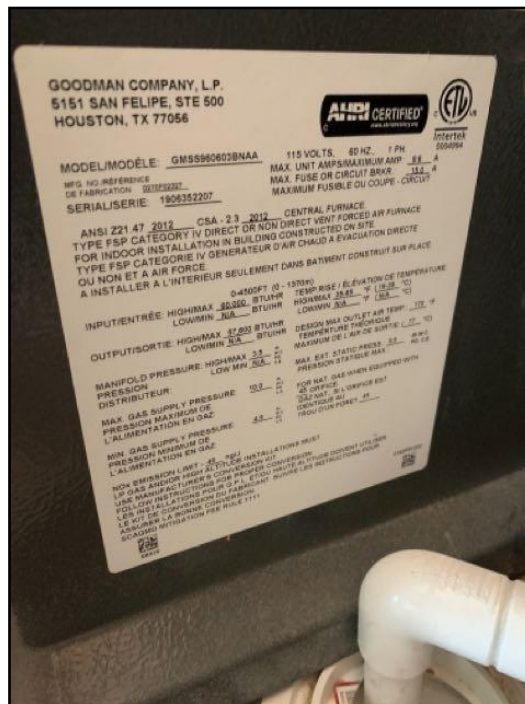
Inspection prevented/limited by: • System was inoperative • Chimney interiors and flues are not inspected • Vent connectors, chimney interiors and flues are not inspected

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

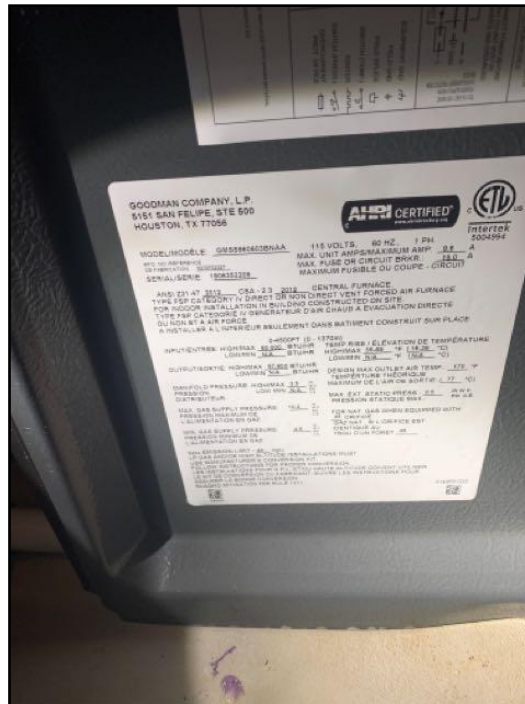
Data plate on equipment:

- Complete
- Second Floor



79. Complete

- Complete
- First Floor



80. Complete

Fireplace/wood stove: • Natural gas or propane fireplaces and components should be cleaned and inspected prior to use. We conduct a limited " Phase 1 Inspection of all fireplaces. Our view of the fireplace flue and upper fire chamber is very limited. The deposits from burning the fireplace sometimes hide cracked or open spaces between the flues. Although there were no apparent problems found during this type of inspection, I strongly recommend cleaning the interior of the fireplace chamber and flue in a Phase 2" inspection with a remote camera prior to closing. Internal components including fireplace seals, gaskets and logs are beyond the scope of a home inspection, and modifications to the fireplace are not inspected for compliance with codes or manufacturer specifications. All power and necessary energy sources need to fuel the fireplace, were left as the inspector found them prior to the inspection. • Natural gas or propane fireplaces and components should be cleaned and inspected prior to use. We conduct a limited " Phase 1 Inspection of all fireplaces. Our view of the fireplace flue and upper fire chamber is very limited. The deposits from burning the fireplace sometimes hide cracked or open spaces between the flues. Although there were no apparent problems found during this type of inspection, I strongly recommend cleaning the interior of the fireplace chamber and flue in a Phase 2" inspection with a remote camera prior to closing. Internal components including fireplace seals, gaskets and logs are beyond the scope of a home inspection, and modifications to the fireplace are not inspected for compliance with codes or manufacturer specifications. All power and necessary energy sources need to fuel the fireplace, were left as the inspector found them prior to the inspection.

Heat exchanger: • Not visible

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Not included as part of a building inspection: • Interiors of vent systems, flues, and chimneys • Heat exchangers • Humidifiers and dehumidifiers • Fireplace screens and doors

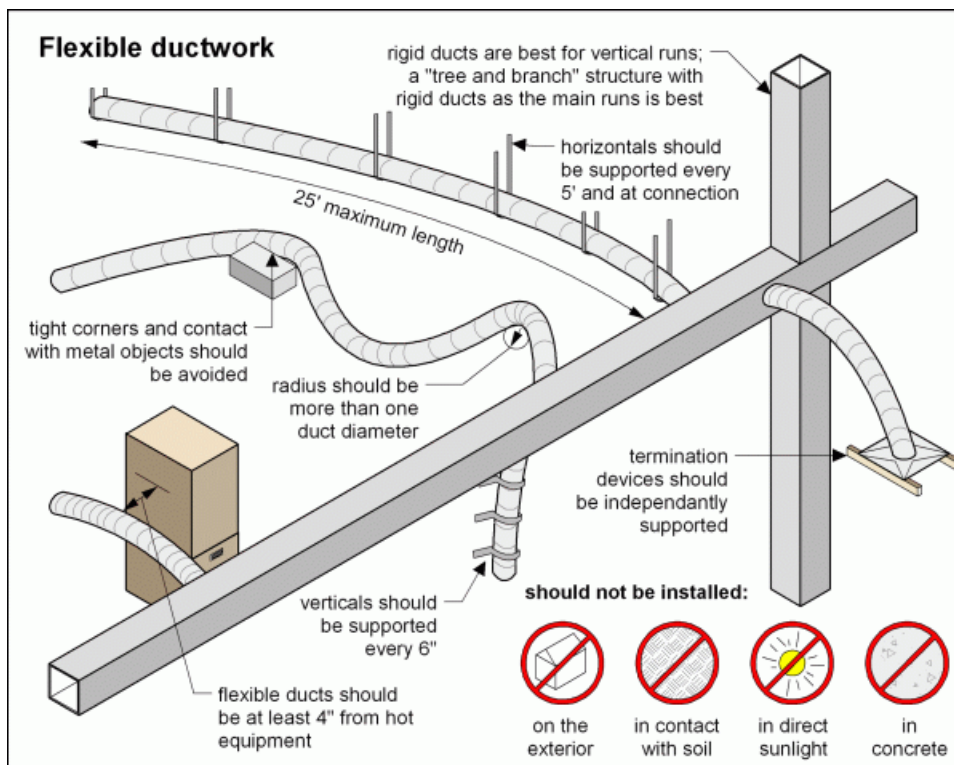
Recommendations

FURNACE \ Ducts, registers and grilles

43. Condition: • The support strap appear to be missing, sagging or loose duct runs will cause reduced comfort and restrict airflow if not repaired. I recommend contacting a qualified HVAC contractor to make any and all repairs.

Location: Master bedroom

Task: Repair





81. The support strap appear to be missing,...

44. Condition: • The support strap appear to be missing, sagging or loose duct runs will cause reduced comfort and restrict airflow if not repaired. I recommend contacting a qualified HVAC contractor to make any and all repairs.

Location: Master bedroom

Task: Repair

GAS FURNACE \ Venting system

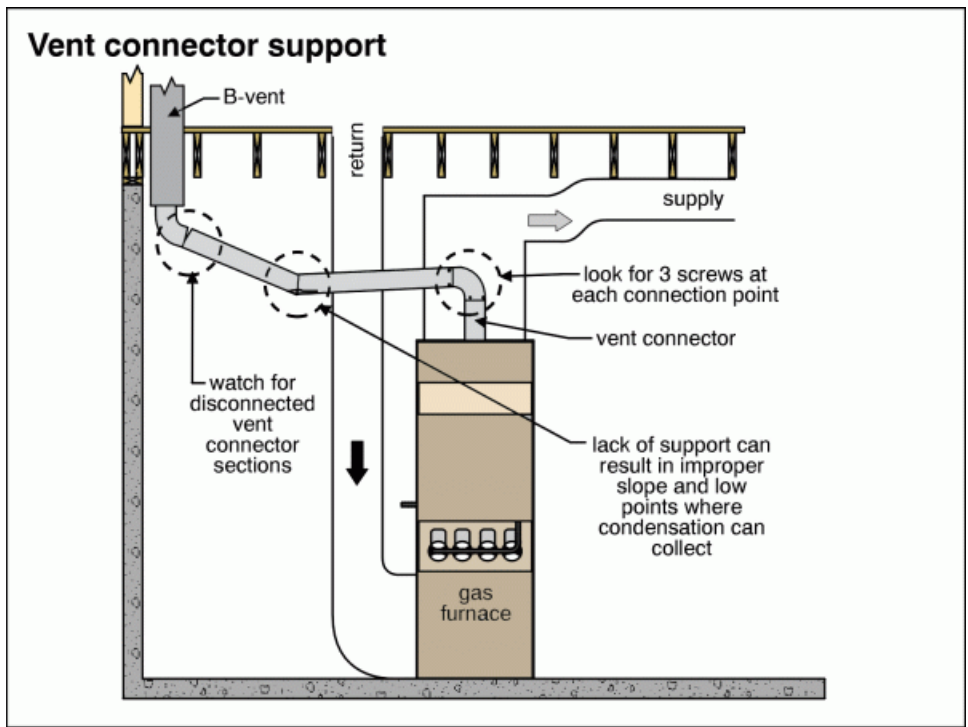
45. Condition: • Poor support

Improper flue connection and supports can allow combustible products to enter the structure. I recommend contacting the licensed HVAC contractor to make any and all repairs.

Implication(s): Hazardous combustion products entering home | Equipment not operating properly

Location: Furnace Flue

Task: Repair



82. Poor support



83. Poor support

GAS FURNACE \ Ducts, registers and grilles

46. Condition: • Disconnected ducts

The ductwork is disconnected. I recommend contacting a qualified HVAC contractor to make any and all repairs.

Implication(s): Reduced comfort | Increased heating costs

HEATING

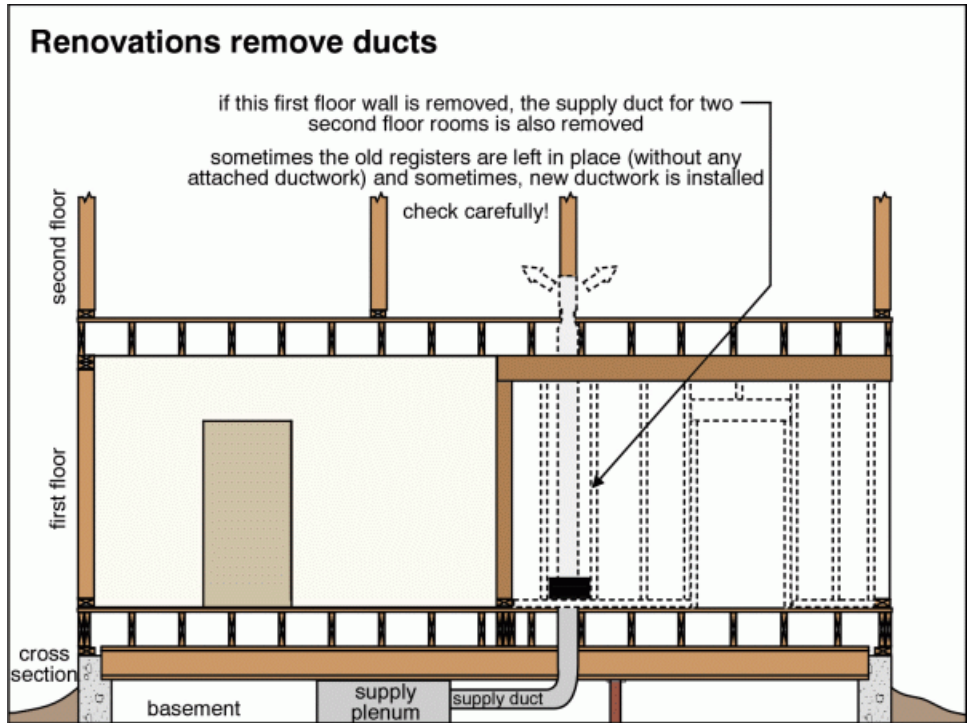
10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2
www.hi-homeinspections.com

- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING**
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE

Location: Bedrooms 4

Task: Repair



84. Disconnected ducts

FIREPLACE \ General notes

47. Condition: • Not functional

HEATING

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

www.hi-homeinspections.com

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

The home inspector guide to lighting the typical fireplace. Open the lower grill and locate the gas valve, locate the black knob on the left side. Push this button in and rotate counter-clockwise until the word "Pilot" is in the 6 o'clock position. While pressing and holding in the black knob, press the igniter button repeatedly; the pilot will generally light with two or three pushes on the igniter. Once the pilot is lit, continue to hold the valve knob in for 30 seconds, then release the knob and it will pop back out. The pilot should remain lit. If it goes out, repeat steps 2-4. If the pilot light does not stay lit, contact a HVAC contractor for service. Next, press the same knob in slightly and turn the control counter clockwise until "On" is in the 6 o'clock position.

To light your burner: Flip the black on/off toggle switch to the "On" position. If you are using a Remote Control or Thermostat, you will need to leave the on/off toggle switch in the "Off" position in order for either of these components to operate. Or you may have a On/Off switch located on the wall near the fireplace. This is the process performed during the home inspection, if the fireplace did not light please request disclosure from the current owner.

Implication(s): System inoperative

Location: First

Task: Repair



85. Not functional

COOLING & HEAT PUMP

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

General: • All readily openable access panels were opened/condensing unit • All readily openable access panels were opened/condensing unit

Air conditioning type: • Air cooled

Manufacturer: • Goodman

Cooling capacity: • 30,000 BTU/hr • 36,000 BTU/hr

Compressor type: • Electric

Compressor approximate age: • New

Typical life expectancy: • 10 to 15 years

Failure probability: • Low

Supply temperature:

- 50°
- Second Floor



86. 50°

- 50°

Return temperature:

- 70°
- Second Floor

COOLING & HEAT PUMP

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



87. 70°

• 70°
First Floor



88. 70°

Temperature difference: • Acceptable temperature difference: 14° to 22°

COOLING & HEAT PUMP

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Evaporative cooler motor: • Two speed

Evaporative cooler damper location: • Basement W/Furnace • Basement W/Furnace

Refrigerant type: • R-410A

Location of the thermostat for the cooling system: • Left Wall

Condensate system: • Discharges to exterior

Limitations

System data plate:

- Complete



89. Complete

- Complete



90. Complete

Description

Attic/roof insulation material:

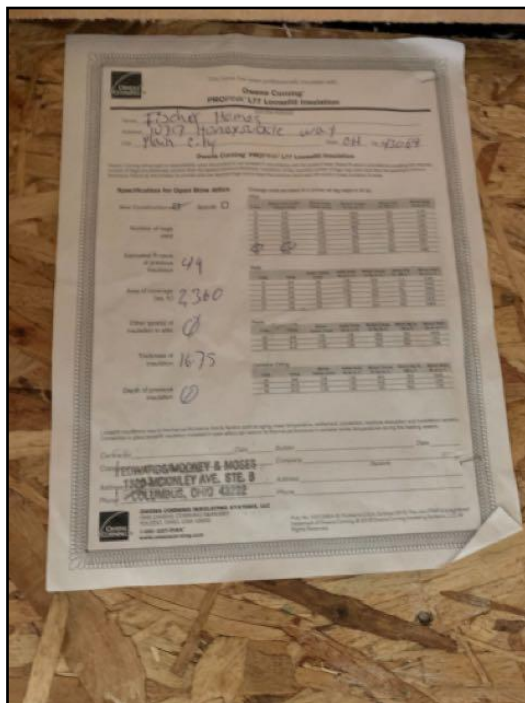
- Glass fiber



91. Glass fiber

Attic/roof insulation amount/value:

- R-49



92. R-49

INSULATION AND VENTILATION

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Attic/roof ventilation: • Soffit vent • Ridge vent

Wall insulation material: • Glass fiber

Foundation wall insulation material: • Glass fiber

Floor above basement/crawlspace insulation material: • Glass fiber

Crawlspace ventilation: • Wall Vents

Floor above porch/garage insulation material: • Glass fiber

Limitations

Inspection limited/prevented by lack of access to: • Attic • Roof space • Wall space • Floor space

Attic inspection performed: • By entering attic, but access was limited

Roof space inspection performed: • By entering space, but access was limited

Crawlspace inspection performed: • By entering space, but access was limited

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Not included as part of a building inspection: • Insulation cannot be disturbed

Recommendations

WALLS \ Insulation

48. Condition: • The caulking sealing the void between the partition plates is incomplete. To improve heat and cooling cost in the structure a repair is recommended.

Location: Various Locations

Task: Repair

INSULATION AND VENTILATION

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



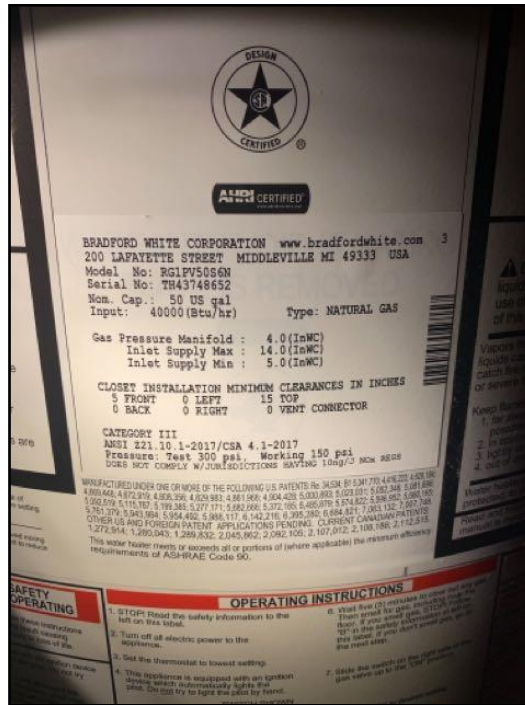
93. The caulking sealing the void between the...



94. The caulking sealing the void between the...

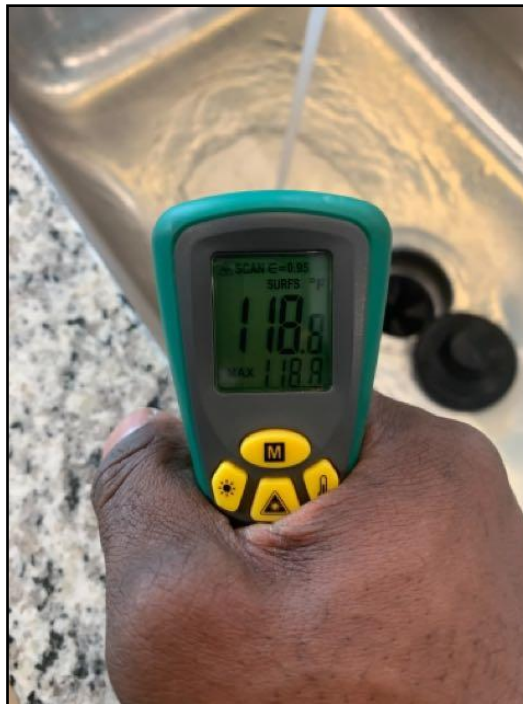
Description

- Water supply source (based on observed evidence):** • Public
- Service piping into building:** • Copper
- Supply piping in building:** • Copper
- Main water shut off valve at the:** • Basement
- Water flow and pressure:** • Functional
- Water heater type:** • Conventional
- Water heater location:** • Basement
- Water heater fuel/energy source:** • Gas
- Water heater exhaust venting method:** • Forced draft • Inspection of vent systems, flues and chimneys • Inspection of vent systems, flues and chimneys
- Water heater manufacturer:**
 - Bradford White



95. Bradford White

- Water heater tank capacity:** • 50 gallons
- Water heater approximate age:** • New
- Water heater typical life expectancy:** • 8 to 12 years
- Water heater failure probability:** • High
- Hot water temperature (Generally accepted safe temp. is 120° F):**
 - 120° F



96. 120° F

Waste disposal system: • Public

Waste and vent piping in building: • Plastic

Pumps:

- Sump pump
- Sealed In Radon System

Floor drain location: • Basement • Basement

Gas piping: • Steel

Main fuel shut off valve at the: • Exterior

Location of fuel storage tank/system: • No Fuel Storage Tank • No Fuel Storage Tank

Exterior hose bibb (outdoor faucet): • Present

Limitations

General: • It is sometimes common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces, basements or in the attic could be years old, from a problem that no longer exists, many times it may still need further investigation and repair by a licensed plumber.

Older homes have usually had several system changes and improvements. The system in the home may react differently after move in, be aware that older systems may develop problems or leaks which could not be seen during this type of inspection. If an exhaustive inspection of the plumbing system is desired a licensed plumber should be contacted before closing.

Items excluded from a building inspection: • Isolating/relief valves & main shut-off valve • Concealed plumbing •

Tub/sink overflows • Water treatment equipment • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

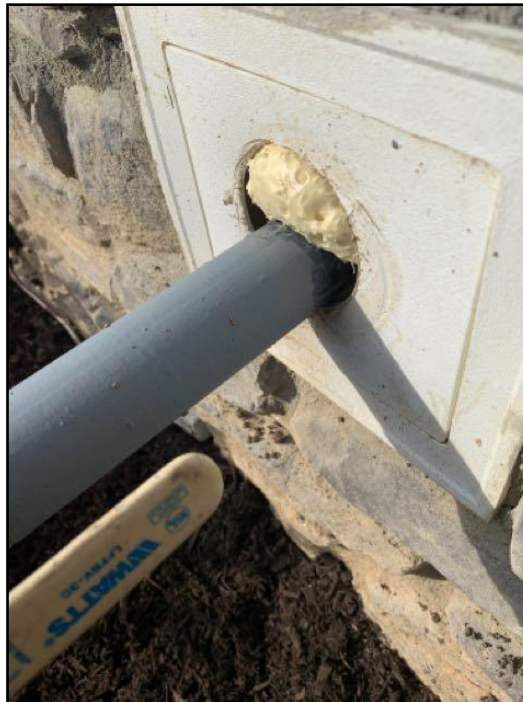
Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Not included as part of a building inspection: • Washing machine connections • Not readily accessible interiors of vent systems, flues, and chimneys • Water conditioning systems

Recommendations

RECOMMENDATIONS \ Overview

49. Condition: • All exterior penetrations into the structure should be weathertight. To avoid water damage or pest entry.



97. All exterior penetrations into the structur...

SUPPLY PLUMBING \ Water service pipe

50. Condition: • The toilet water line does not have the proper distance from the wall. The beauty ring is un-flush, which covers the penetration in the floor. I recommend consulting the builder to find remedy.

Location: Second Floor Front Front Bathroom

Task: Repair



98.

WATER HEATER - GAS BURNER AND VENTING \ Venting system

51. Condition: • The power vent is required to be grounded, the grounding wires is currently not visible. The wiring diagram shows the ground inside the housing.

housing.<http://igate.northernplumbing.com/manuals/bradford/tw450s.pdf>

Location: Water Heater

Task: Repair



99.

FIXTURES AND FAUCETS \ Shower stall enclosure

52. Condition: • Grout loose, missing or deteriorated

Loose or Missing grout may continue to worsen as water and solvents get underneath the tile causing grout to weaken and tiles to become loose. I recommend contacting a qualified professional to make any and all repairs as needed.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Master bedroom shower

Task: Repair

PLUMBING

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

www.hi-homeinspections.com

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



100. *Grout loose, missing or deteriorated*

Description

Major floor finishes: • Carpet • Hardwood • Laminate • Ceramic

Major wall finishes: • Plaster/drywall

Major ceiling finishes: • Plaster/drywall

Major wall and ceiling finishes: • Plaster/drywall

Windows:

- Single/double hung



101. Single/double hung

- Vinyl

Glazing: • Double

Exterior doors - type/material: • Metal • Garage door - metal • Interior Solid Core • Interior Solid Core

Doors: • Inspected

Counters and cabinets: • Inspected

Stairs and railings: • Inspected

Limitations

Inspection limited/prevented by: • Carpet

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum • Underground components (e.g., oil tanks, septic fields, underground drainage systems)

Cosmetics: • No comment offered on cosmetic finishes • All ceilings and walls were reviewed during the home inspection. Any water stains that were present during the home inspection on walls or ceilings, were spot checked with a

Moisture meter. Any active stains during the time of the inspection will be listed in the recommendations sections of the report. Inactive stains that require no repair beyond cosmetics will not be listed in the report for remedy. Inspections are limited and exhaustive or destructive inspections are excluded. Future leaks may be found and should be repaired as needed. Review your disclosure and verify that this is not a problem with the current owner before closing.

Appliances: • Appliances are not moved during an inspection

Percent of foundation not visible: • 100 %

Garage door: • Not tested

Garage door opener: • Not tested

Recommendations

RECOMMENDATIONS \ Overview

53. Condition: • Some areas in the home were under renovation. Uncompleted or exposed electrical, mechanical, plumbing and/or building materials fixtures and finishes can be a hazard to the occupant. The attached photos show some examples of these areas, I recommend contacting a qualified contractor to get the necessary quotes to finish this project.

Location: Exterior & Interior



102. *Some areas in the home were under...*

CEILINGS \ General notes

54. Condition: • Typical flaws

Drywall imperfections are common during the new construction punch out process multiple areas throughout the home were identified and discussed. The contractor should be willing to remedy these areas since they are below industry standards and are poor quality and craftsmanship. I recommend marking this area with tape and consulting the contractor for a remedy.

INTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

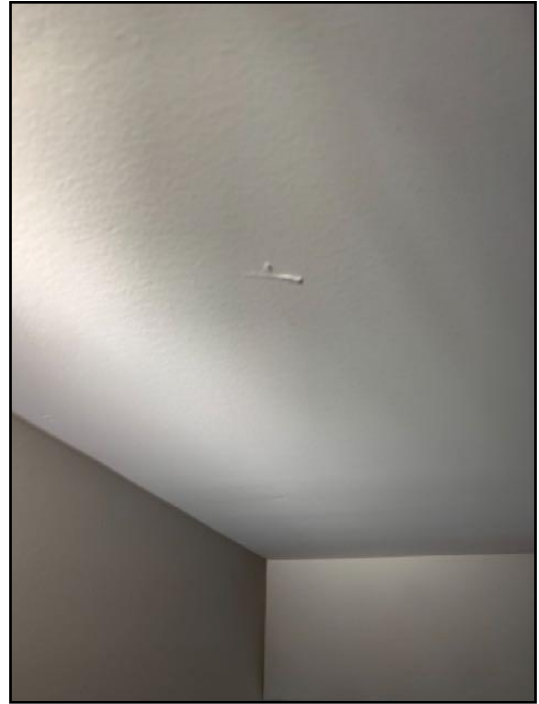
REFERENCE

Location: Various Locations

Task: Repair



103. Typical flaws



104. Typical flaws

WALLS \ Plaster or drywall

55. Condition: • Typical flaws

Drywall imperfections are common during the new construction punch out process multiple areas throughout the home were identified and discussed. The contractor should be willing to remedy these areas since they are below industry standards and are poor quality and craftsmanship. I recommend marking this area with tape and consulting the contractor for a remedy.

Location: Wreck room

Task: Repair



105. Typical flaws

FLOORS \ Wood/laminate floors

56. Condition: • The floor has cosmetic defects from poor installation practices. Your contractor will find a remedy to correct this matter.

Location: Kitchen Floors

Task: Repair



106. The floor has cosmetic defects from poor...

WINDOWS \ Sashes

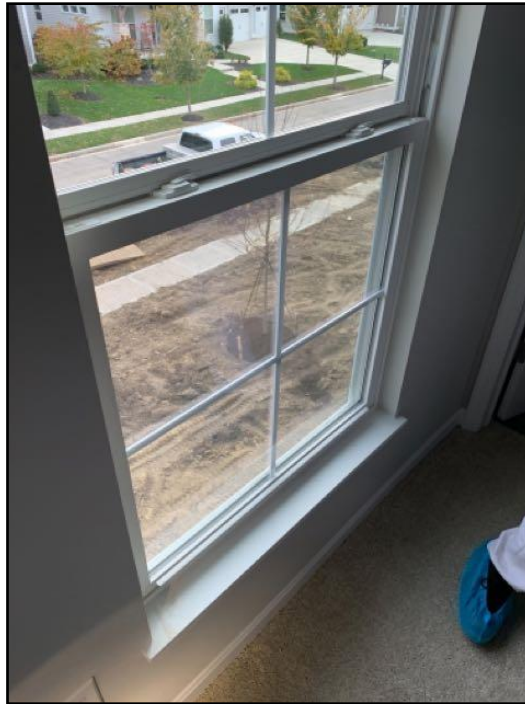
57. Condition: • Loose fit

The sash is loose. I recommend contacting a qualified contractor for further evaluation.

Implication(s): Chance of damage to finishes and structure

Location: Bedroom 3

Task: Repair



107. Loose fit

DOORS \ General notes

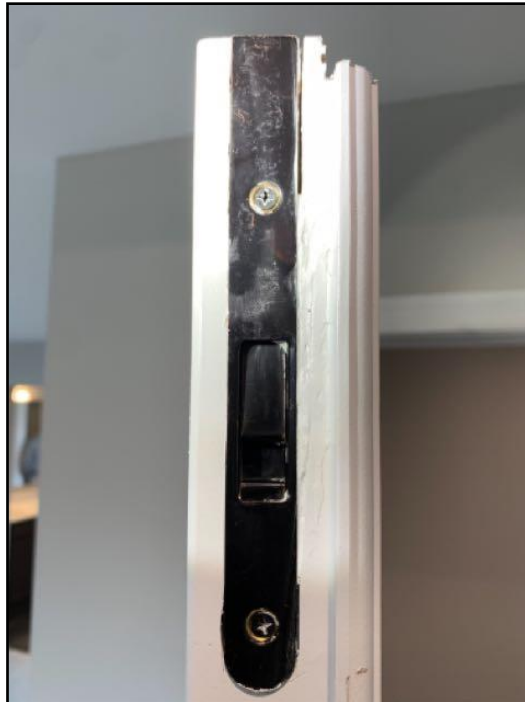
58. Condition: • Damage

The door is damaged, I recommended that the door be repaired by a qualified contractor.

Implication(s): Increased heating and cooling costs | Reduced comfort | Shortened life expectancy of material

Location: Master bedroom

Task: Repair



108. Damage

DOORS \ Doors and frames

59. Condition: • The door slab has cosmetic defects in the finish, I recommend consulting the current owner to find a remedy for these blemishes.

Second Floor Hallway linen closet, Great Room

Location: Various Locations Mark With Tape

Task: Repair

INTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2
www.hi-homeinspections.com

- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR**
- REFERENCE



109. The door slab has cosmetic defects in the...



110. The door slab has cosmetic defects in the...



111. The door slab has cosmetic defects in the...



112. The door slab has cosmetic defects in the...



113. The door slab has cosmetic defects in the...



114. The door slab has cosmetic defects in the...

60. Condition: • The door slab has cosmetic defects in the finish, I recommend consulting the current owner to find a remedy for these blemishes.

Location: Garage service door

Task: Repair



115. The door slab has cosmetic defects in the...

DOORS \ Interior trim

61. Condition: • Low-quality paint work was observed trash in the paint, runs, imperfections and/or bad caulking and cut lines are usually the result of poor workmanship. Back rolling in conjunction with straining the paint usually prevents runs and blemishes on walls. A steady hand and years of experience will remedy bad cut lines and caulking. The contractor should be willing to remedy poor craftsmanship since it's below normal industry standards.

Location: Office

Task: Repair



116. *Low-quality paint work was observed trash i...*

CARPENTRY \ Cabinets

62. Condition: • Pieces missing or loose

The trim panel on the cabinet is loose, contact a qualified professional to make any and all repairs.

Implication(s): Damage or physical injury due to falling materials

Location: Kitchen island

Task: Repair



117. Pieces missing or loose

63. Condition: • The cabinets have cosmetic defects in the finish, I recommend consulting the current owner to find a remedy for these blemishes.

Location: Kitchen cabinet

Task: Repair



118. The cabinets have cosmetic defects in the...



119. The cabinets have cosmetic defects in the...

STAIRS \ General notes

64. Condition: • Tread squeaking is a common issue. There are various industry practices that can remedy this issue, consult your builder for further evaluation

Location: Strairwell



120.

STAIRS \ Handrails and guards

65. Condition: • The finish has imperfection, unfilled voids, and stain missing in areas. I recommend contacting a qualified contractor to make the necessary repairs.

INTERIOR

10717 Honeysuckle Way, Plain City, OH November 4, 2019

Report No. 4534, v.2

www.hi-homeinspections.com

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



121. *The finish has imperfection, unfilled voids...*

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

