



Your Inspection Report

6865 Bryne Court
Dublin, OH 43017



PREPARED FOR:

N/A N/A

INSPECTION DATE:

Thursday, November 17, 2016

PREPARED BY:

Master Inspector James Jones



Home Inspections LLC.
PO Box 1954
Dublin, OH 43017

1-800-241-0133

www.hi-homeinspections.com
jamesjones@hi-homeinspections.com

Inspecting High and Low

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOF FLASHINGS \ Pipe/stack flashings

Condition: • [Damage](#)

The pipe jack is damaged leaving a opportunity for water damage to enter the structure. I recommend contacting a qualified contractor for any and all repairs.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Roof

Task: Repair



1. *Damage*

Exterior

WALLS \ Trim

Condition: • Rot

The trim is suffering from a lack of maintenance, cedar does not hold up very well when not maintained regularly. A qualified contractor is recommended to evaluate and estimate repairs.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Exterior Wood Trim Siding Right Side

Task: Repair

HABITABILITY ISSUES

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5

www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



2. Rot

WALLS \ Stucco and EIFS

Condition: • [Moisture penetration](#)

The stucco appears to have absorbed water in this area for an extended period of time. When there is stucco surface staining it's usually a sign it's retaining water from failure of flashing, caulking or the lack of maintenance of the stucco surface and trim. I recommend contacting a qualified contractor to repair the problem to prevent water damage to the structure.

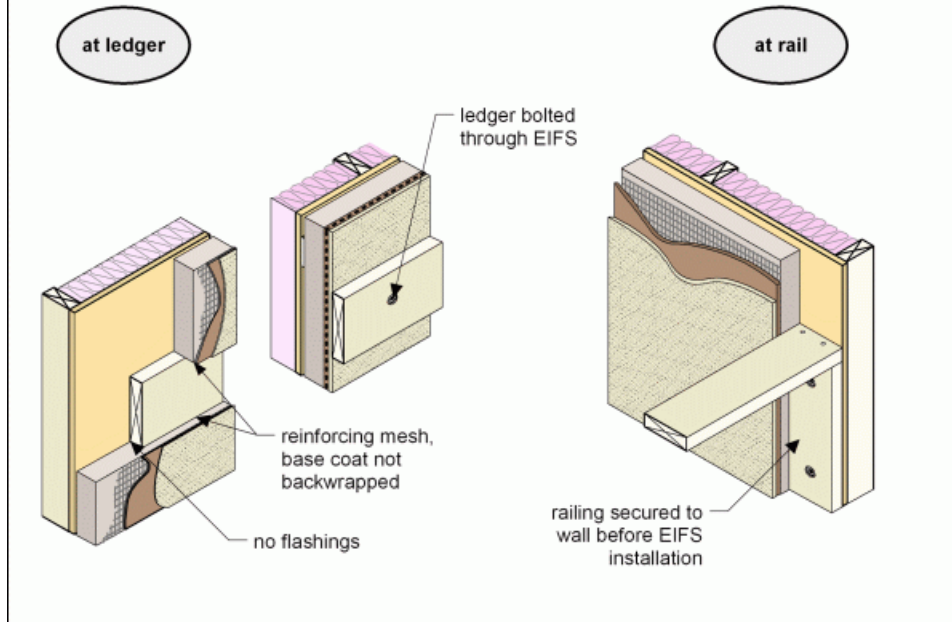
Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Left Side Exterior Upper Level Window

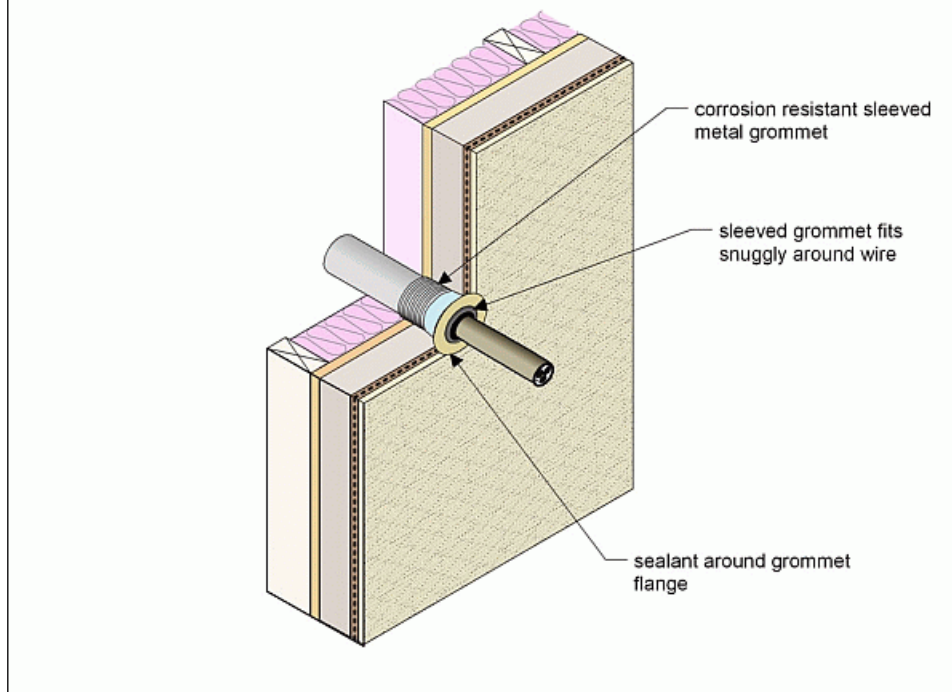
Task: Repair

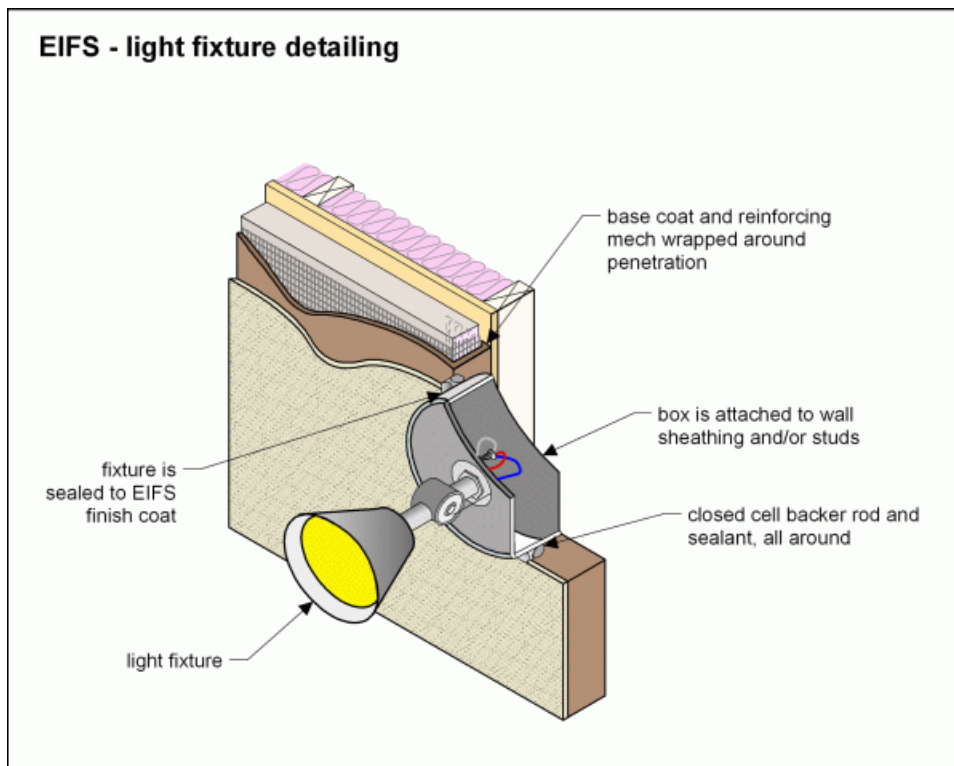
Time: To Correct Problem

EIFS - Common problems at deck



EIFS - penetration





Interior

FLOORS \ Subflooring

Condition: • [Rot](#)

Moisture has caused damage to the structure. I recommend a qualified contractor be consulted and any and all repairs made as necessary.

Implication(s): Weakened structure | Chance of structural movement

Location: Front Right Crawl Space

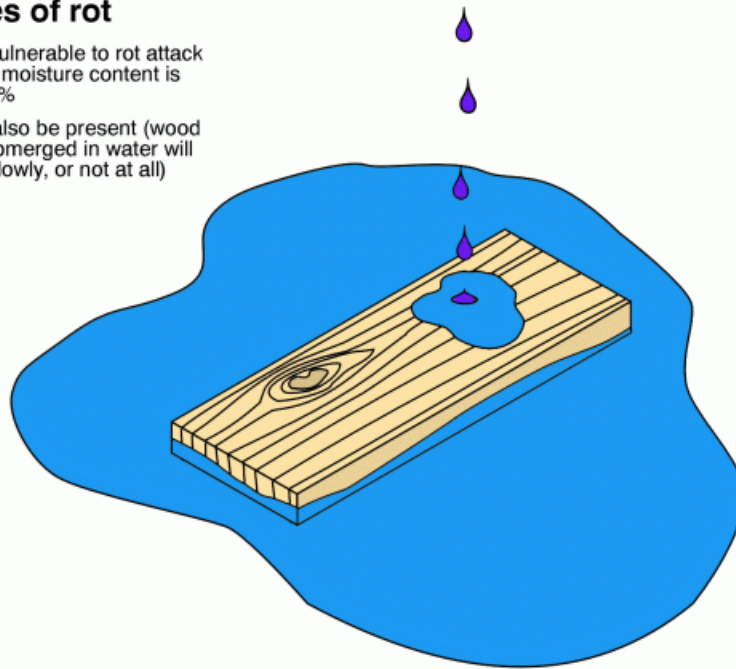
Task: Further evaluation

Time: To Correct Problem

Causes of rot

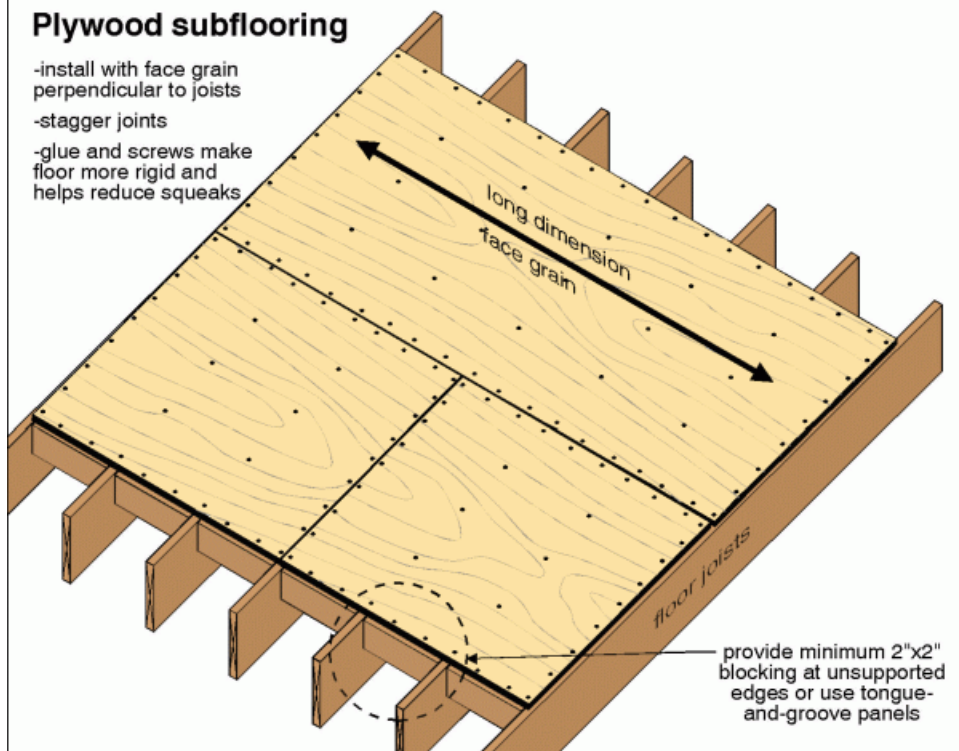
wood is vulnerable to rot attack when the moisture content is above 20%

air must also be present (wood totally submerged in water will rot very slowly, or not at all)



Plywood subflooring

- install with face grain perpendicular to joists
- stagger joints
- glue and screws make floor more rigid and helps reduce squeaks





3. Rot

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5

www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

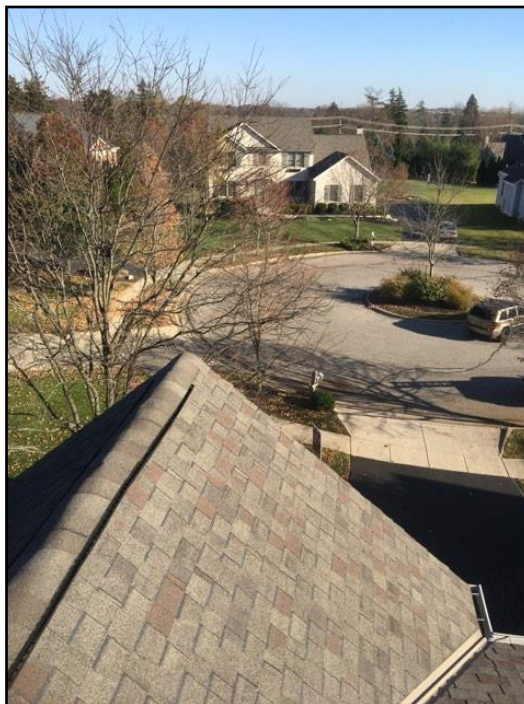
INTERIOR

REFERENCE

Description

Sloped roofing material:

- Composition shingles



4. Composition shingles

Sloped roof flashing material: • Aluminum

Probability of leakage: • Low

Limitations

Inspection performed: • By walking on roof • From roof edge • From the ground

Recommendations

SLOPED ROOFING \ Asphalt shingles

1. Condition: • Ice and Water shield is a critical component to any new roofing system especially in cold weather climates. Many local building codes require Ice and Water shield and The National Building Code states Ice and water shield must start at the roof eave edge and extend 2 ft inside heated wall space of a structure. As the name implies the product is to protect your roof deck in cold and wet situations. When Ice forms and rain or ice melts it can get inside most vulnerable areas where we need to keep it out.

Ice and Water shield is a peel and stick product that adheres directly to the roof deck. It forms a water-proof barrier where ice most often builds up on the eaves edge. It is also commonly applied in the valleys of a house as well as around any roof protrusions including; chimneys, pipe boots, roof vents and skylights. Essentially all the weakest or most prone to leaking areas of a roof should be coated with Ice and Water Shield before installing shingles or any other roofing

ROOFING

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5

www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

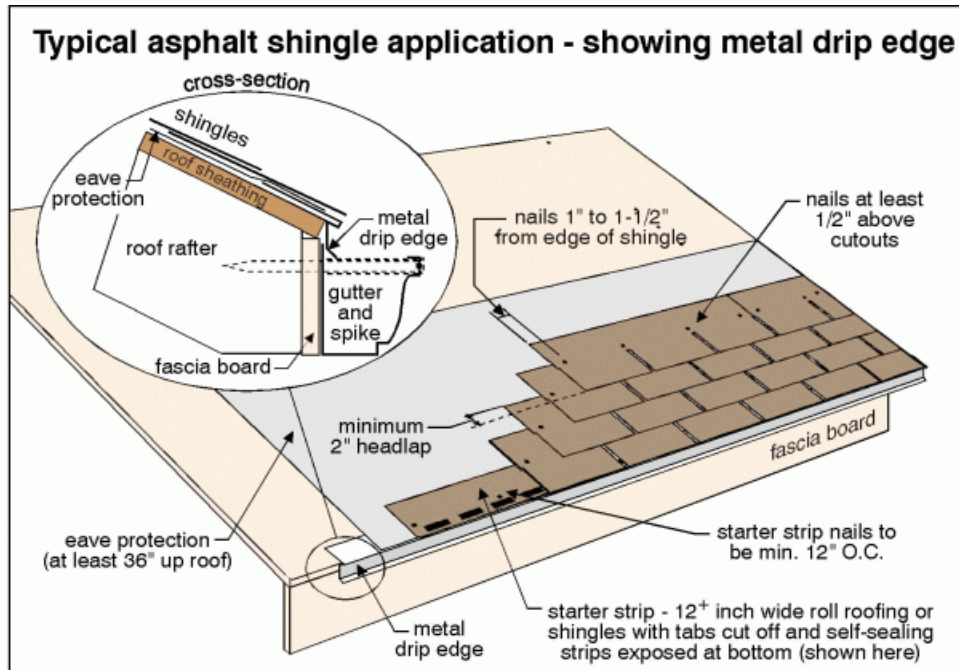
INTERIOR

REFERENCE

product.

Location: Various throughout Eaves

Task: Improve when remodeling



5. Ice and Water shield is a critical componen...

SLOPED ROOF FLASHINGS \ Pipe/stack flashings

2. Condition: • [Damage](#)

ROOFING

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5
www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

The pipe jack is damaged leaving a opportunity for water damage to enter the structure. I recommend contacting a qualified contractor for any and all repairs.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Roof

Task: Repair



6. *Damage*

EXTERIOR

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5
www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

General: • Inspection of all exterior flashing

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Below grade](#)

Downspout discharge: • [Below grade](#)

Lot slope: • [Away from building](#)

Wall surfaces and trim: • [Stucco/EIFS](#)

Retaining wall: • Inspection of retaining walls that adversely affect the building • None

Driveway: • Asphalt

Walkway: • Concrete

Deck: • Pressure-treated wood

Porch: • Concrete

Fence: • No Fence

Limitations

Inspection limited/prevented by: • Inaccessible wall

No or limited access to: • Area below steps, deck, porches

Upper floors inspected from: • Ground level

Exterior inspected from: • Ground level

Recommendations

WALLS \ Trim

3. Condition: • Rot

The trim is suffering from a lack of maintenance, cedar does not hold up very well when not maintained regularly. A qualified contractor is recommended to evaluate and estimate repairs.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Exterior Wood Trim Siding Right Side

Task: Repair

EXTERIOR

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5
www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



7. Rot

WALLS \ Stucco and EIFS

4. Condition: • [Moisture penetration](#)

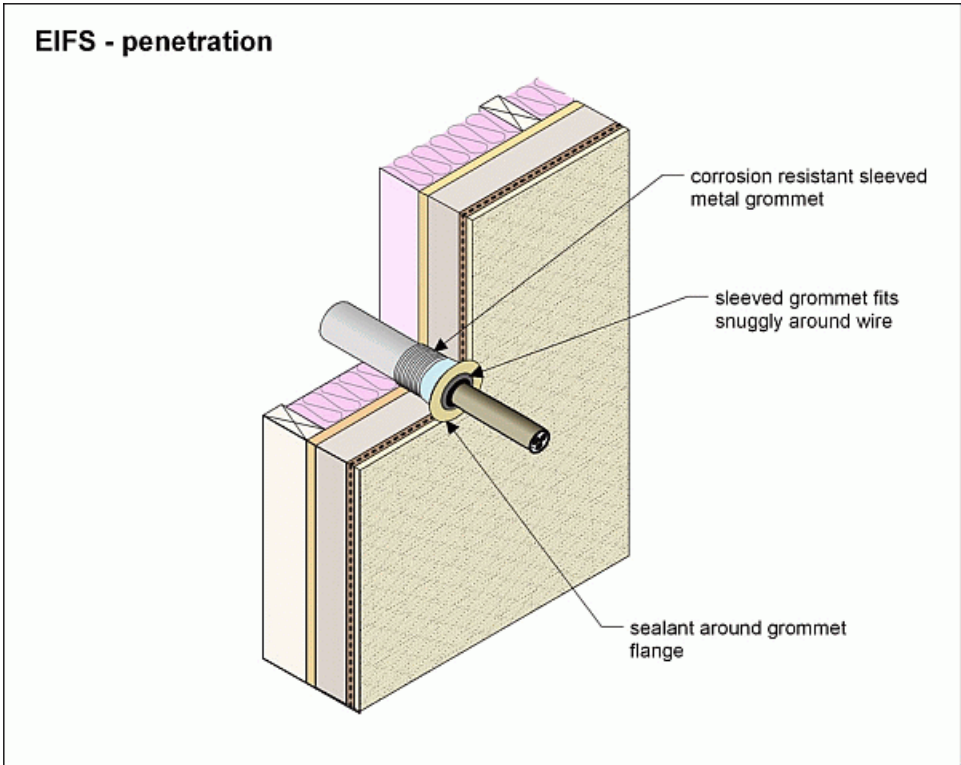
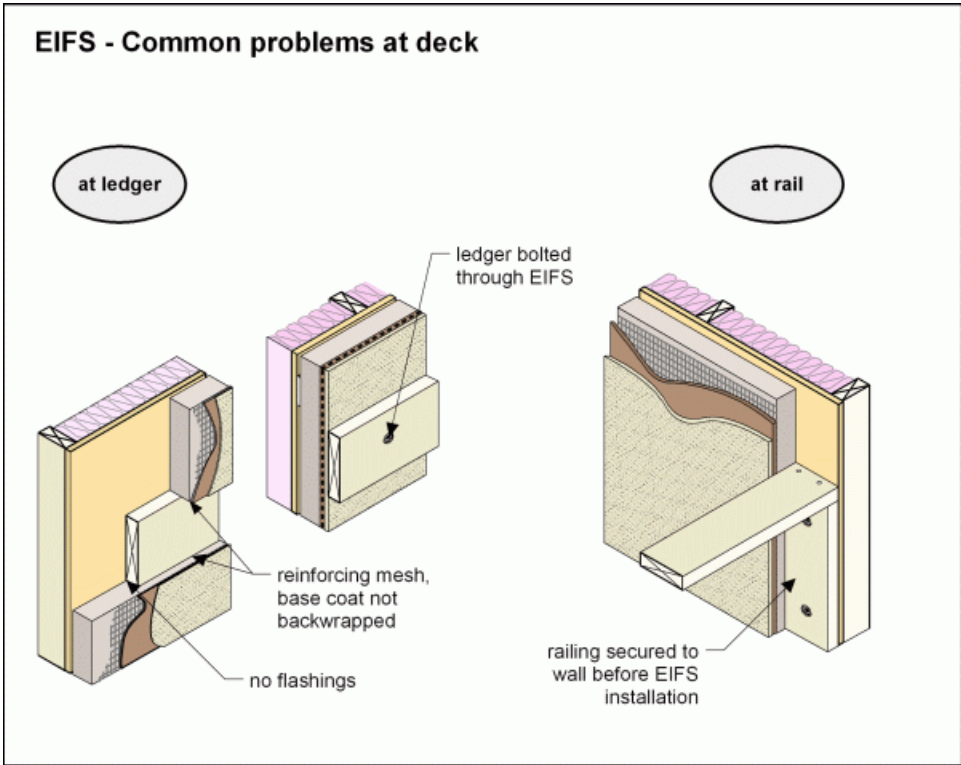
The stucco appears to have absorbed water in this area for an extended period of time. When there is stucco surface staining it's usually a sign it's retaining water from failure of flashing, caulking or the lack of maintenance of the stucco surface and trim. I recommend contacting a qualified contractor to repair the problem to prevent water damage to the structure.

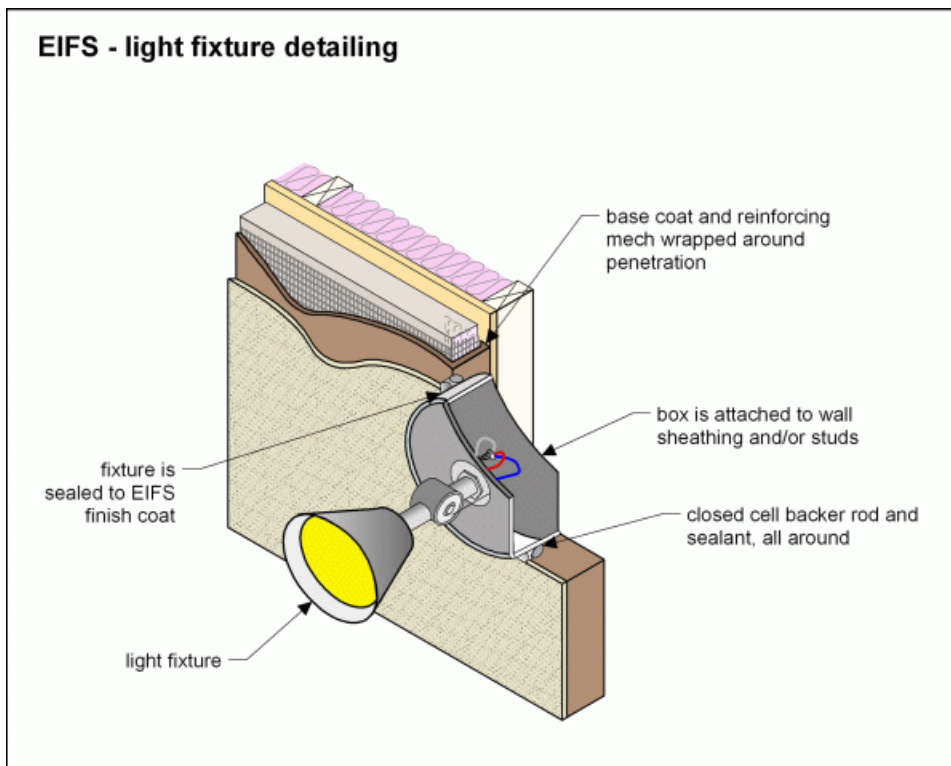
Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Left Side Exterior Upper Level Window

Task: Repair

Time: To Correct Problem





WALLS \ Brick, stone and concrete

5. Condition: • [Masonry deterioration](#)

All loose masonry should be repaired, loose masonry allows the chance of water damage to the structure and/or contents. I recommend contacting a qualified professional for further evaluation.

Implication(s): Weakened structure | Chance of structural movement

Location: Front Exterior Porch

Task: Repair

EXTERIOR

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5
www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



8. *Masonry deterioration*

LANDSCAPING \ Walkway

6. Condition: • [Uneven \(trip hazard\)](#)

The concrete slab is heaving or settlement causing the slab to drop. Some common causes are the base has failed or washed out, I recommend contacting a qualified contractor to make any and all repairs.

Implication(s): Physical injury

Location: Front Entry Walk

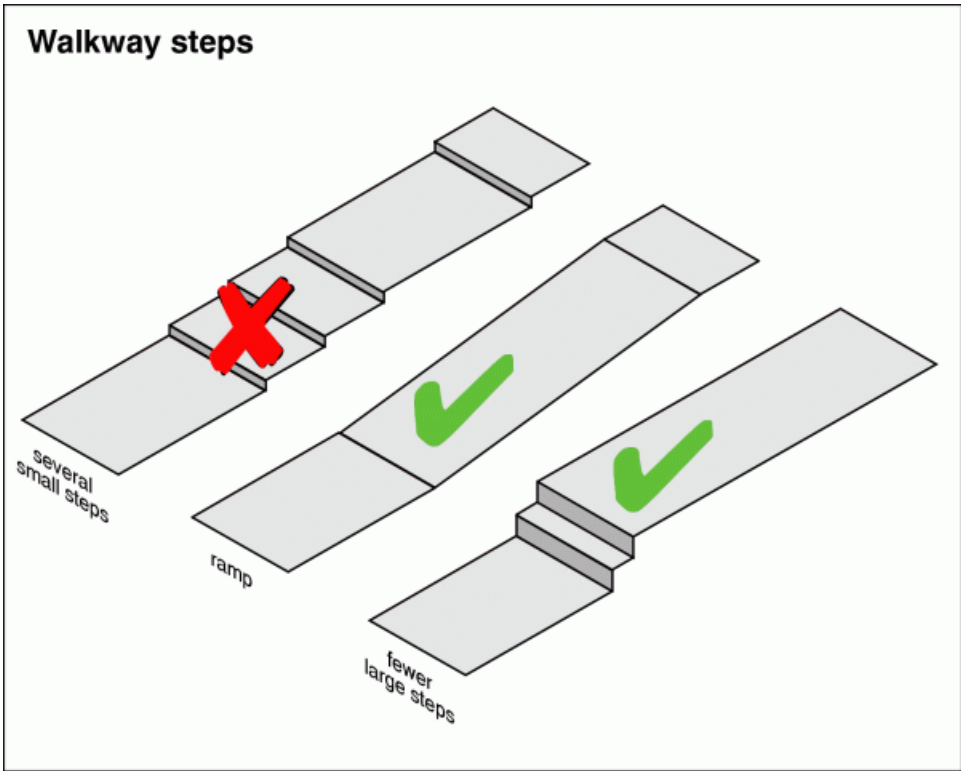
Task: Repair

EXTERIOR

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5
www.hi-homeinspections.com

- HABITABILIT
 - ROOFING
 - EXTERIOR**
 - STRUCTURE
 - ELECTRICAL
 - HEATING
 - COOLING
 - INSULATION
 - PLUMBING
 - INTERIOR
- REFERENCE



9. Uneven (trip hazard)

STRUCTURE

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5
www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Configuration: • [Basement](#)

Foundation material: • [Masonry block](#)

Floor construction: • [Wood I-joists](#) • Subfloor - OSB (Oriented Strand Board)

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing: • [Trusses](#) • [OSB \(Oriented Strand Board\) sheathing](#)

Limitations

Inspection limited/prevented by: • Wall, floor and ceiling coverings • Carpet/furnishings • Storage • New finishes/paint • Insulation

Attic/roof space: • Entered but access was limited

Knee wall areas: • No Knee Wall

Crawl space: • Entered but access was limited

Percent of foundation not visible: • 70 %

Not included as part of a building inspection: • Visible mold evaluation is not included in the building inspection report

- HABITABILIT
 - ROOFING
 - EXTERIOR
 - STRUCTURE
 - ELECTRICAL**
 - HEATING
 - COOLING
 - INSULATION
 - PLUMBING
 - INTERIOR
- REFERENCE

Description

Service entrance cable and location: • [Underground aluminum](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

Number of circuits installed: • 38

System grounding material and type: • [Copper - ground rods](#)

Distribution panel rating: • [200 Amps](#)

Distribution panel type and location: • [Breakers - basement](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • GFCI Present

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • No AFCI

Smoke detectors: • [Present](#)

Carbon monoxide (CO) detectors: • Present

Recommendations

SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

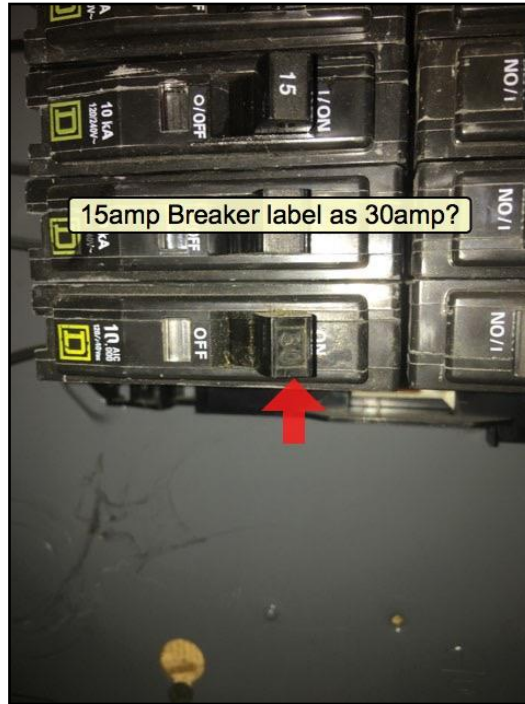
7. Condition: • [Wrong size fuses or breakers for subpanel and feeder](#)

When feeding a device, subpanel or Appliance it it's important to follow the local building codes or the manufacture specifications on the equipment. The breaker/fuse should match the breaker/fuse on the equipment being fed. The wire should be sized accordingly accounting for the distance of the run. The attached URL will provide you with the necessary information to size the wire & breaker properly. <http://www.ci.east-palo-alto.ca.us/ArchiveCenter/ViewFile/Item/168>When

Implication(s): Electric shock | Fire hazard

Location: Main Electric Panel

Task: Repair or Replace



10. Wrong size fuses or breakers for subpanel...

DISTRIBUTION SYSTEM \ Lights

8. Condition: • [Inoperative](#)

Bulbs maybe blown or the fixture is Inoperative further evaluation needed requests disclosure.

Implication(s): Inadequate lighting

Location: Front Porch Light

Task: Request disclosure



11. *Inoperative*

Description

- General:** • All readily openable access panels were opened
- Fuel/energy source:** • [Gas](#)
- System type:** • [Furnace](#)
- Furnace manufacturer:** • Trane
- Heat distribution:** • [Ducts and registers](#)
- Approximate capacity:** • 120,000 BTU/hr
- Efficiency:** • [Conventional](#)
- Exhaust venting method:** • [Induced draft](#)
- Approximate age:** • [16 years](#)
- Typical life expectancy:** • Furnace (conventional or mid-efficiency) 18 to 25 years
- Main fuel shut off at:** • Exterior wall
- Failure probability:** • [Low](#)
- Supply temperature:**
- 120°



12. 120°

- Return temperature:**
- 70°

HEATING

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5

www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



13. 70°

Temperature difference:

- 50°

The temperature differential meets the manufacture's desired temperature difference.(Good Condition)

Exhaust pipe (vent connector): • Double wall • Type B

Fireplace:

- [Gas fireplace](#)

HEATING

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5

www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



14. Gas fireplace

- [Factory-built](#)

Chimney/vent: • [Metal](#)

Chimney liner: • [Metal](#) • B-vent (double-wall metal liner)

Carbon monoxide test:

- 20 parts per million - approximate

The industry rule of thumb for measuring combustion products in the flue is less than 100 ppm. The furnace efficiency, oxygen, and CO2 are all within the normal parameters. Please refer to the furnace nomenclature plate to find specific manufactures specifications.

HEATING

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5
www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



15. 20 parts per million - approximate

Combustion air source: • Interior of building

Humidifiers: • None

Mechanical ventilation system for home: • Bathroom exhaust fan

Limitations

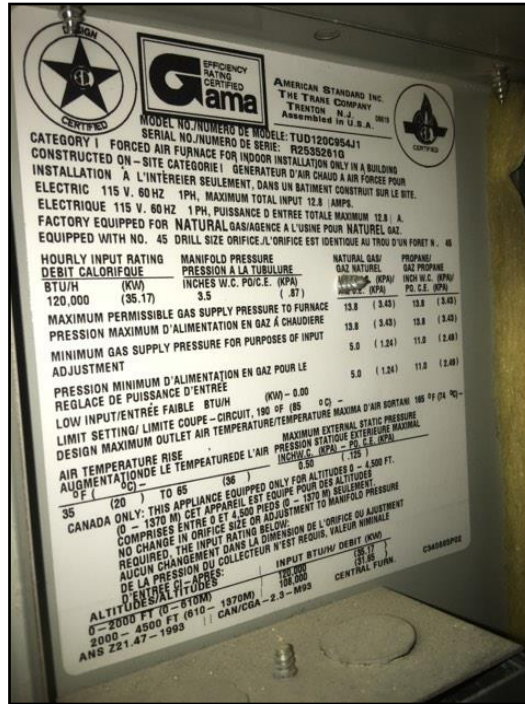
Inspection prevented/limited by: • Chimney interiors and flues are not inspected

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Data plate on equipment: • Complete

- HABITABILIT
 - ROOFING
 - EXTERIOR
 - STRUCTURE
 - ELECTRICAL
 - HEATING**
 - COOLING
 - INSULATION
 - PLUMBING
 - INTERIOR
- REFERENCE



16. Complete

Fireplace/wood stove:

- Fireplace was in use

The fireplace or wood stove and components should be cleaned and inspected prior to use. We conducted a limited "Phase 1" inspection of all fireplaces. Our view of the fireplace flue and upper fire chamber is very limited. The deposits from burning the fireplace sometimes hide cracked or open spaces between the flues. Although there were no apparent problems found during this type of inspection, I strongly recommend cleaning the interior of the fireplace chamber and flue a "Phase 2" inspection with a remote camera prior to closing.

Heat exchanger: • Not visible

COOLING & HEAT PUMP

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5

www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

General: • All readily openable access panels were opened/condensing unit

Air conditioning type: • [Air cooled](#)

Manufacturer: • Nordyne

Cooling capacity: • [3.5 Tons](#)

Compressor approximate age: • 3 years

Typical life expectancy: • 10 to 15 years

Failure probability: • [Low](#)

Supply temperature:

• 40°



17. 40°

Return temperature:

• 60°

COOLING & HEAT PUMP

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5

www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



18. 60°

Temperature difference: • Acceptable temperature difference: 14° to 22°

Evaporative cooler motor: • [Two speed](#)

Evaporative cooler damper location: • Basement W/Furnace

Refrigerant Type: • R-410A

Limitations

Inspection limited/prevented by:

- Low outdoor temperature

Central air conditioners are operated and tested when the ambient temperature is above 65 degrees and the power to the unit has been turned on 24 hours prior to the inspections. Condition of evaporator coil in the plenum is beyond the scope of a visual inspection.

System data plate: • Complete

COOLING & HEAT PUMP

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5

www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



19. Complete

INSULATION AND VENTILATION

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5

www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

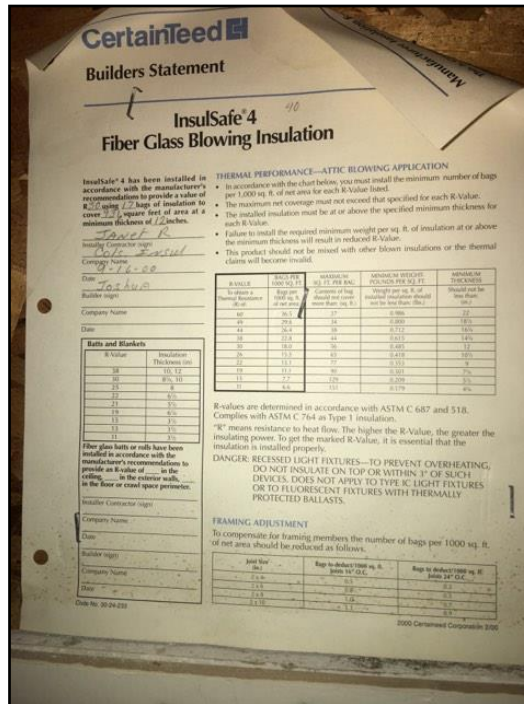
Attic/roof insulation material:

- [Cellulose](#)



20. Cellulose

Attic/roof insulation amount/value: • R-30



21. R-30

- Attic/roof ventilation: • [Roof and soffit vents](#) • [Roof vent](#) • [Soffit vent](#) • [Ridge vent](#)
- Wall insulation material: • Not visible
- Foundation wall insulation material: • [Glass fiber](#)
- Floor above basement/crawlspace insulation material: • [Glass fiber](#)
- Crawlspace ventilation: • Supplied by distribution systems
- Mechanical ventilation system for home: • Bathroom exhaust fan

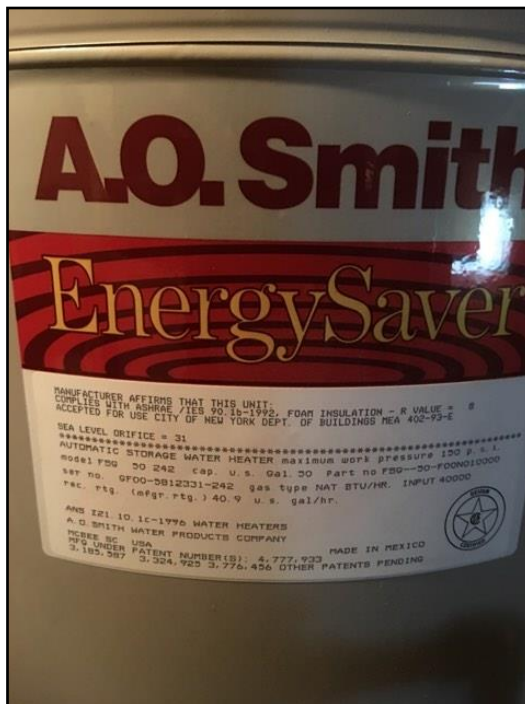
Limitations

- Inspection prevented by no access to: • Wall space • Floor space
- Attic inspection performed: • By entering attic, but access was limited
- Roof space inspection performed: • By entering space, but access was limited
- Crawl space inspection performed: • By entering space, but access was limited

- HABITABILIT
 - ROOFING
 - EXTERIOR
 - STRUCTURE
 - ELECTRICAL
 - HEATING
 - COOLING
 - INSULATION
 - PLUMBING**
 - INTERIOR
- REFERENCE

Description

- General:** • Common fixtures in bathrooms and throughout home
- Water supply source:** • Public
- Service piping into building:** • [Plastic](#)
- Supply piping in building:** • [Plastic](#)
- Main water shut off valve at the:** • Front of the basement
- Water heater fuel/energy source:** • [Gas](#)
- Water heater type:** • [Conventional](#)
- Water heater exhaust venting method:** • Inspection of vent systems, flues and chimneys
- Water heater exhaust venting method:** • Natural draft
- Water heater manufacturer:** • A.O. Smith
- Tank capacity:**
 - 50 gallons



22. 50 gallons

- Water heater approximate age:** • 16 years
- Typical life expectancy:** • 8 to 12 years
- Water heater failure probability:**
 - [Low](#)
- Water Temperature lower than average may need adjustment at the tank.



23. Water Temp

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [Plastic](#)

Pumps: • Sump Pump and related piping

Pumps: • sewage ejectors and related piping

Note: None

Floor drain location: • Near heating system

Gas piping: • Steel

Main fuel shut off valve at the: • Exterior

Exterior hose bibb: • Present

Limitations

Items excluded from a building inspection: • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Recommendations

FIXTURES AND FAUCETS \ Toilet

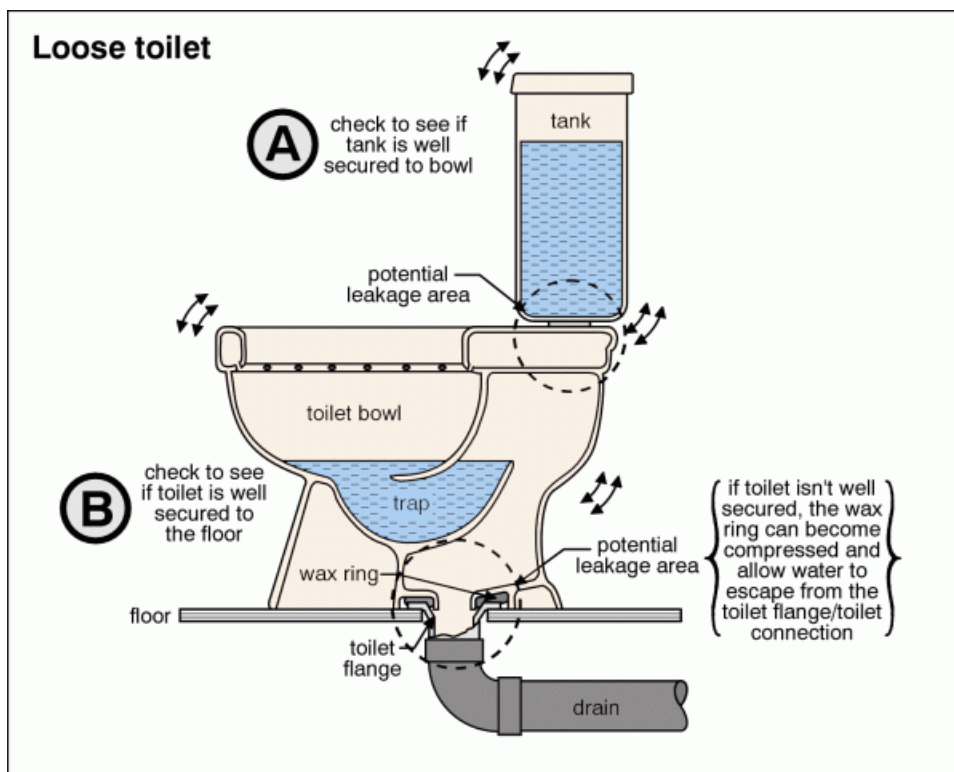
9. Condition: • Loose

The loose toilet needs reset there were no water stains found. If this problem is left unattended it could cause damage to the structure. I recommend a qualified professional make repairs as necessary.

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the building

Location: Master Bathroom

Task: Repair



PLUMBING

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5
www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



24. Loose

Description

Major floor finishes: • [Carpet](#) • [Hardwood](#) • [Ceramic](#)
Major wall finishes: • [Gypsum board](#)
Major ceiling finishes: • [Gypsum board](#)
Major wall and ceiling finishes: • [Gypsum board](#)
Windows: • [Single/double hung](#) • Vinyl
Glazing: • [Double](#)
Exterior doors - type/material: • [Hollow wood](#) • Metal-clad • Garage door - metal
Doors: • Inspected
Oven type: • Convection
Oven fuel: • Electricity
Range fuel: • Electricity
Appliances: • Refrigerator • Dishwasher • Waste disposal • Microwave oven
Kitchen ventilation: • Exhaust fan • Recirculating type
Bathroom ventilation: • Exhaust fan
Laundry room ventilation: • Clothes dryer vented to exterior
Counters and cabinets: • Inspected
Stairs and railings: • Inspected

Limitations

Inspection limited/prevented by: • Carpet • Storage/furnishings • New finishes/paint • Storage in closets/cupboards
Not included as part of a building inspection: • Carbon monoxide detectors, security systems, central vacuum • Perimeter drainage tile around foundation, if any
Cosmetics: • No comment offered on cosmetic finishes
Appliances: • Appliances are not moved during an inspection

Recommendations

FLOORS \ Subflooring

10. Condition: • [Rot](#)

Moisture has caused damage to the structure. I recommend a qualified contractor be consulted and any and all repairs made as necessary.

Implication(s): Weakened structure | Chance of structural movement

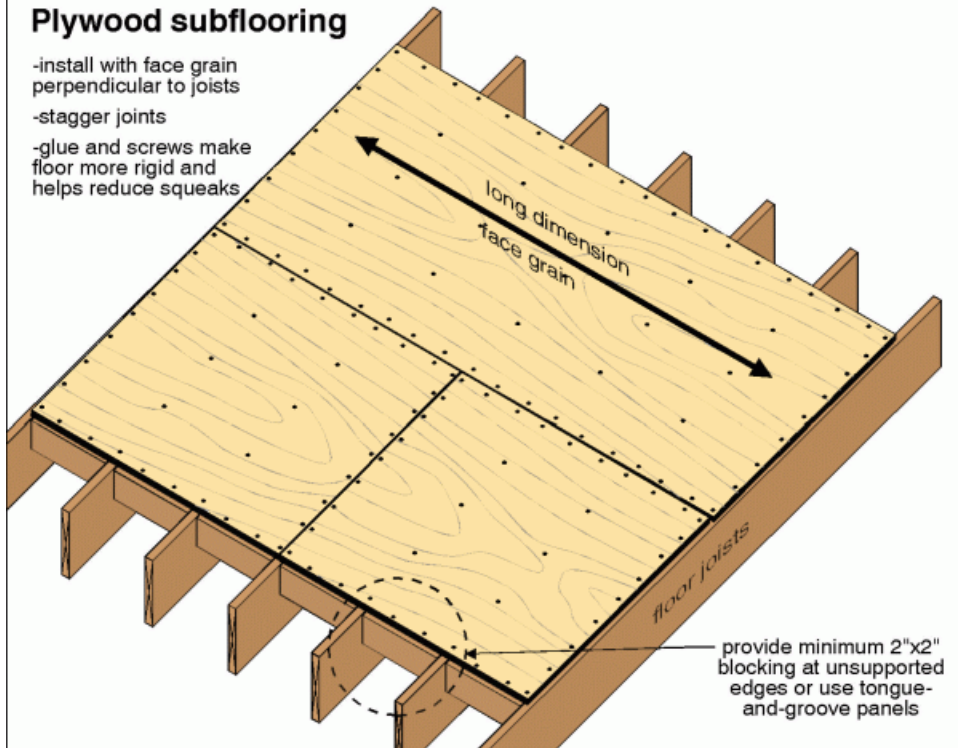
Location: Front Right Crawl Space

Task: Further evaluation

Time: To Correct Problem

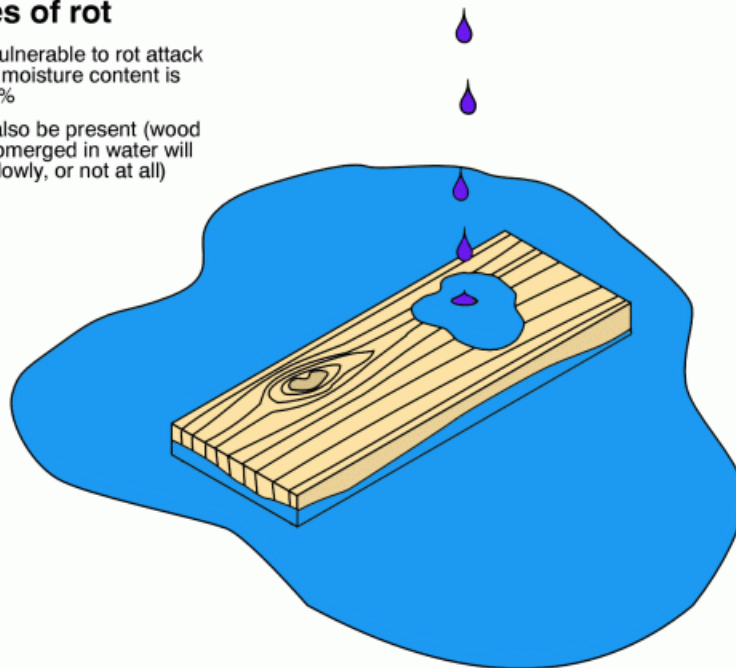
Plywood subflooring

- install with face grain perpendicular to joists
- stagger joints
- glue and screws make floor more rigid and helps reduce squeaks



Causes of rot

- wood is vulnerable to rot attack when the moisture content is above 20%
- air must also be present (wood totally submerged in water will rot very slowly, or not at all)





25. Rot

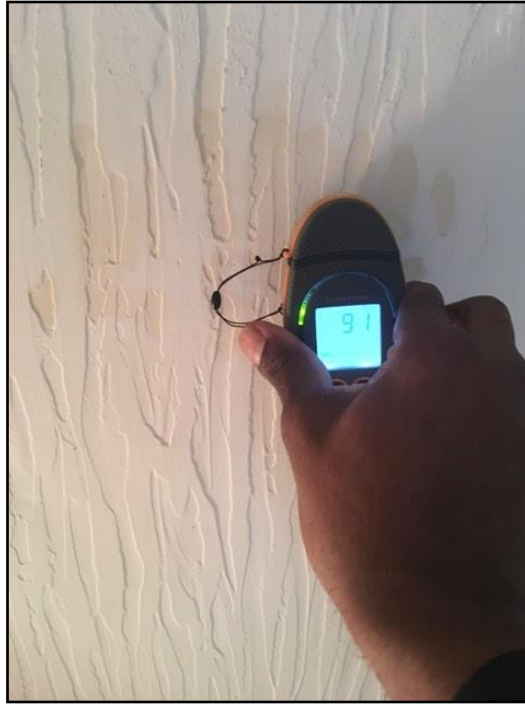
CEILINGS \ General

11. Condition: • (Water Stains OK)

Water stains were present. The spot was checked with the " Protometer" Moisture Meter. Although there was no leaking or elevated moisture content found at this time, inspections are limited and exhaustive or destructive inspections are excluded. Future leaks may be found and should be repaired as needed. Verify that this is not a problem with the current owner.

Location: Laundry Room

Task: Repair



26. (Water Stains OK) Water stains were...

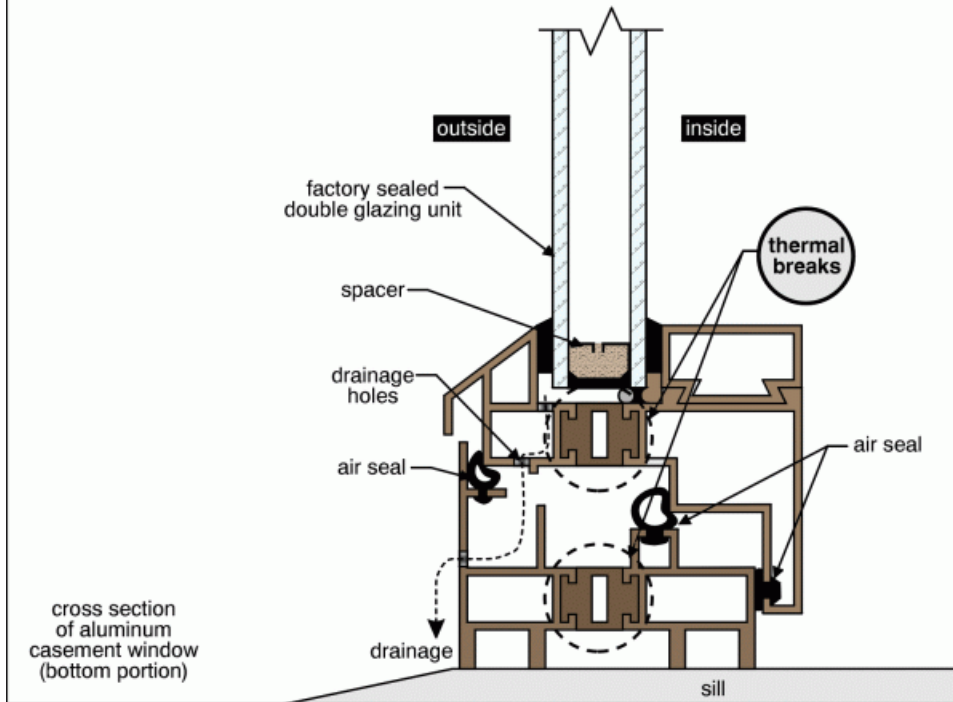
WINDOWS \ Glass (glazing)

12. Condition: • Fogging or other moisture between the panes of glass which indicates a broken seal was found. Repairs are recommended. Signs of lost seals in the thermal pane windows may appear and disappear as temperature and humidity changes. Some windows with lost seals may not have been evident at time of this inspection. The windows were checked for obvious fogging. I recommended all windows be inspected by a window contractor for further lost seals.

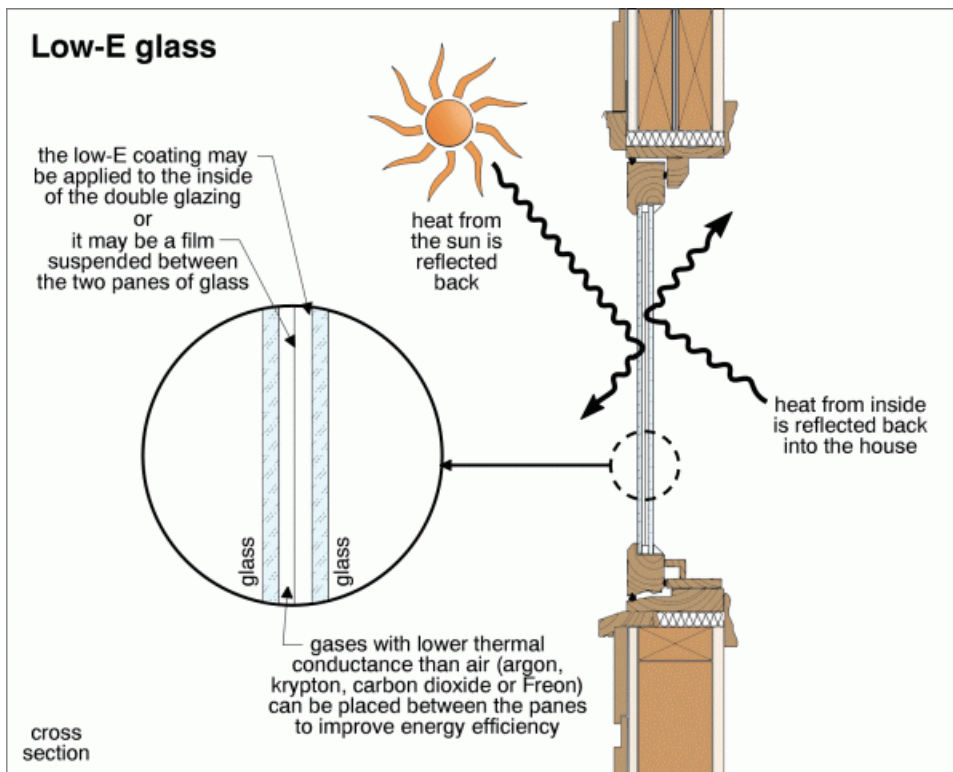
Location: Loft, Second Floor Rear Bedroom

Task: Repair

Thermal breaks in frames



Low-E glass



INTERIOR

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5
www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

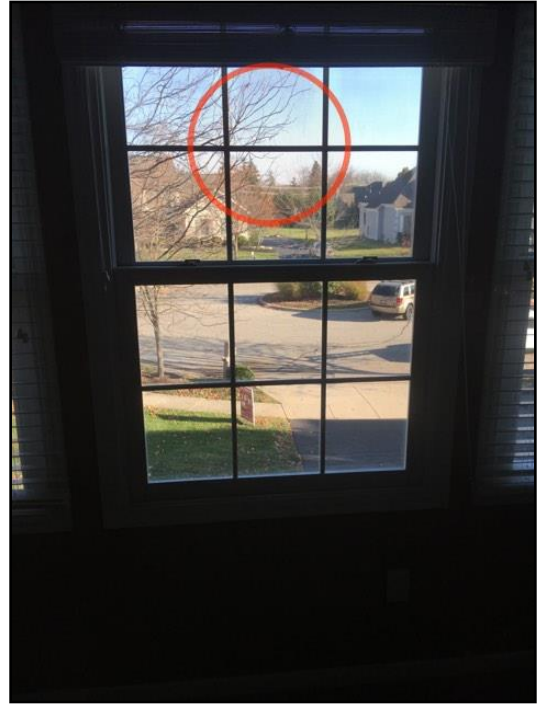
PLUMBING

INTERIOR

REFERENCE



27. Fogging or other moisture between the panes...



28. Fogging or other moisture between the panes...

WINDOWS \ Sashes

13. Condition: • [Won't stay open](#)

The spring or sash cord in the side of the window is not connected and allows the window to close partially when released. If both sides are broken the window can slam closed very quickly and harm anything beneath it. Correction of the spring or sash cord by a qualified person is recommended for safety of children and adults.

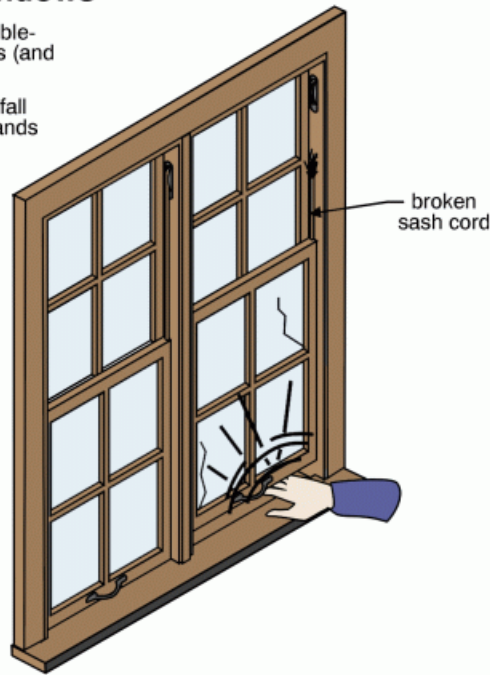
Implication(s): Nuisance | Glass breaking | Physical injury

Location: Family room, Dining Room

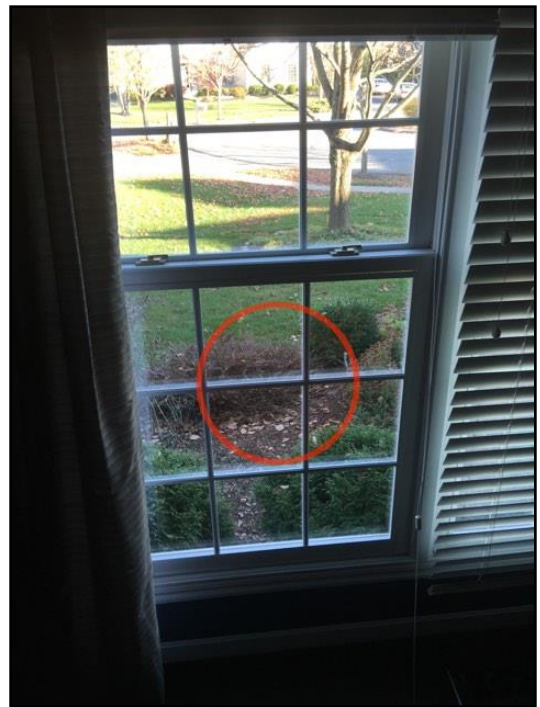
Task: Repair

Watch for faulty windows

be careful when operating double-hung and single-hung windows (and also self-storing storms) if they're defective, they could fall unexpectedly - injuring your hands and/or the window



29. Won't stay open



30. Won't stay open



31. *Won't stay open*

DOORS \ Doors and frames

14. Condition: • Does not latch properly

The interior door doesn't latch properly, I recommend the door be repaired.

Implication(s): System inoperative or difficult to operate

Location: Second Floor linen closet, Master bathroom water closet door

Task: Repair

INTERIOR

6865 Bryne Court, Dublin, OH November 17, 2016

Report No. 1965, v.5
www.hi-homeinspections.com

HABITABILIT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

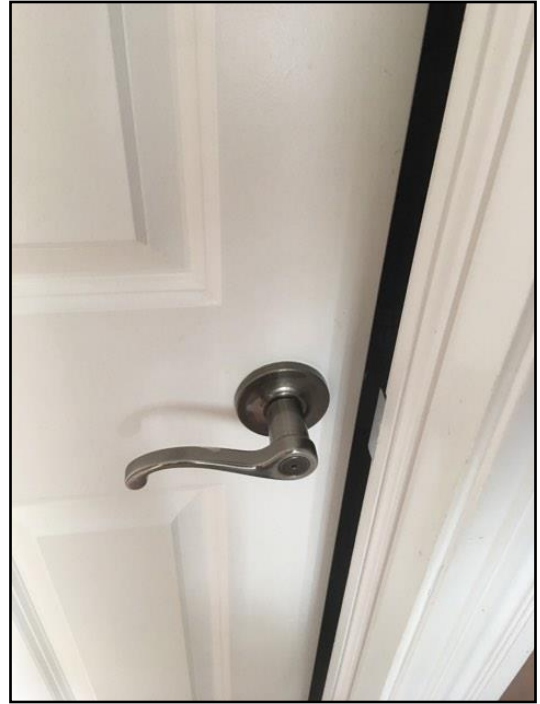
PLUMBING

INTERIOR

REFERENCE



32. Does not latch properly



33. Does not latch properly

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS